



**REQUEST FOR BIDS
FOR
CONSTRUCTION
FOR
CVAG OFFICES - TENANT IMPROVEMENTS PROJECT
PROJECT NO. CV-2026-TIP-01**

ADDENDUM

Addendum Date: May 20, 2026

Purpose: This addendum supplements, amends, and takes precedence over the original Request for Bids (RFB) Bid Package and Specifications for the CVAG Offices - Tenant Improvements Project (TIP) Project No. CV-2026-TIP-01 and shall be considered when preparing bids and shall become part of the Contract documents. Bidders shall review the Addendum specifications and requirements in detail and incorporate any effects the Addendum may have into their bids scope of work and costs.

Note: All requirements of the RFB documents remain unchanged except as cited herein.

Questions & Requests:

The following are responses to the written Requests for Information (RFI) and questions received by the Coachella Valley Association of Governments (CVAG) as of the deadline for receiving such RFIs and questions by 5:00 p.m. on May15, 2026.

1. **Question:** Please clarify the Working hours for this project.

Response: *The working hours for this project will be Monday – Friday, 8:00 a.m. to 5:00 p.m.*

2. **Question:** Please provide Hazmat Report applicable to the scope of work for this project.

Response: *There is no hazmat report for this project.*

3. **Question:** Please provide preferred Vendors for Low Voltage, Fire Alarm, Fire Sprinkler and HVAC Controls.

Response: *The preferred Low Voltage vendor is to be selected by CVAG. The Fire Alarm, Fire Sprinkler, and HVAC Control Vendors are to be selected by the GC.*

4. **Question:** Per the RFP, it states that the bid due date is 5/25 (Memorial Day), which is a federal holiday. Please confirm if this is correct or if the bid due date will be moved to a business day.

Response: *The bid due date shall be until 3:00 pm PST on Tuesday, May 26, 2026.*

Sealed Bids will be received at Coachella Valley Association of Governments, 74-199 El Paseo, Suite 100, Palm Desert, CA 92260, telephone (760) 346-1127 **until 3:00 pm PST on Tuesday, May 26, 2026** at which time they will be publicly opened at said address, for construction in accordance with the specifications therefore, to which special reference is made, as follows:

**CVAG Offices – Tenant Improvements Project (TIP)
Project No. CV-2026-TIP-01**

5. **Question:** Will the Owner provide a Laydown Area and parking for GC and Subcontractor use? If not, please provide typical parking cost.

Response: *TBD. CVAG will discuss with the Owner / Property Management Company for an agreed response.*

6. **Question:** For Bonding and Builders Risk Insurance purposes, what is the Owner's estimated valuation of the project?

Response: *Phase – 1: \$300,000, Phase – 2: \$300,000*

7. **Question:** Per plans, Phase 1 - Door 110A at the phone room is re-used from demo in Phase 2. Are they good with not having a door at the Phase 2 location during Phase 1? Please provide door trim finish specs.

Response: *Door 110A is no longer a reused door, it is now a new door. Reference Delta-3 on sheets A2.21, A2.24, & A7.10. Contractor to perform a site visit to verify door trim finish specs, as all new doors are to match existing.*

8. **Question:** Please confirm all new and reused doors, glazing panels, borrowed Lites, infill storefront/glass panels, frames, and hardware are fully scheduled, and provide any missing frame elevations/details.

Response: *Missing window 100a has been added to sheet A2.20 & A7.10.*

9. **Question:** Please provide Door Hardware Groups.

Response: *All door hardware is to be design/build by the Contractor.*

10. **Question:** Please confirm that award will be based on the Base Bid / Phase 1 only, and that Phase 2 is to be priced as an additive alternate. The Instructions state award is to the lowest responsible bidder for the Base Bid, while bid forms require pricing for Add Alternative Phase 2.

Response: *The Award is based on the Lowest Responsible Bidder for Base Bid/Phase 1. Bid forms require pricing for the Phase 2 Add Alternative for CVAG consideration as a separate authorization in the form of a change order.*

11. **Question:** Please confirm whether Phase 2 will be awarded at the same time as Phase 1, held as an additive alternate at CVAG's discretion, or performed only under a future authorization/change order.

Response: *At CVAG's discretion, the Phase 2 Add Alternative may be authorized at the same time as Phase 1, or at a point in the future.*

12. **Question:** Please confirm whether the CVAG office will remain occupied during construction, and identify allowable work areas, phasing constraints, temporary partitions, after-hours work requirements, and access restrictions.

Response: *CVAG's offices will remain open during construction. CVAG will coordinate with the selected contractor prior to construction.*

13. **Question:** Please confirm perimeter window height for Phase 1 Conference & Office. Please provide shade detail for the manual Draper shades.

Response: *Contractor to verify perimeter window height in a site visit. The manual draper shades are to be surface mounted to the soffit.*

14. **Question:** Please provide existing sprinkler system record drawings, hydraulic data, hazard classification, available flow test, and whether concealed sprinkler heads are required at all new/reworked finished ceilings.

Response: *The existing sprinkler system record drawings, hydraulic data, hazard classification, and available flow test are not available at this time. Concealed sprinkler heads are not required at all new/reworked finished ceilings.*

15. **Question:** Please confirm whether fire alarm modifications, sprinkler monitoring, flow/tamper devices, notification devices, and central station coordination are included in the scope.

Response: *All abovementioned items are to be included in the scope.*

16. **Question:** Please identify required special inspections for the project, including whether inspections apply to metal stud anchorage, ceiling seismic bracing, firestopping, or other work, and whether CVAG or Contractor contracts directly with the special inspector.

Response: *Contractor to coordinate with the City Building Department to identify special inspections for the project. Contractor to contract directly with any required special inspectors.*

17. **Question:** Keynote 234 identifies furniture by Owner. Please confirm the Contractor's responsibility, if any, for moving, protecting, disconnecting/reconnecting, storing, or reinstalling Owner furniture during phased construction.

Response: *Contractor is responsible for moving, protecting, disconnecting, reconnecting, all Owner furniture. Owner is responsible for storing all furniture.*

18. **Question:** Several keynotes call for reused furniture, reused casework, and reconfigured existing casework. Please clarify which party is responsible for disassembly, modification, repair, refinishing, hardware, anchorage, and reinstallation.

Response: *Contractor is responsible for all disassembly, modification, repair, refinishing, hardware, anchorage, and reinstallation of all reused furniture, reused casework, and reconfigured existing casework.*

19. **Question:** Please confirm hardware requirements for reused doors, including locksets, closers, hinges, ADA hardware, keying, and whether existing doors require refinishing or patching.

Response: *Reused doors to reuse all locksets, closers, hinges, ADA hardware and keying. Existing doors do not require refinishing or patching.*

20. **Question:** Keynote 267 states the existing door reused at 104A shall receive new hardware if lockable hardware exists so the door can be locked from the inside. Please confirm final hardware function required for 104A.

Response: *Door 104A shall receive new hardware so that the door is lockable from inside the office.*

21. **Question:** Please provide the full window schedule and specify profile, glazing type, thickness, safety glazing requirements, and color for the infill glass panel noted to match existing.

Response: *A full window schedule has been provided on revised sheet A7.10.*

22. **Question:** Please provide Finish plans and schedule with specifications.

Response: *A floor finish plan has been provided on sheet A7.10. The new flooring specifications are called out in the keynotes on this page.*

23. **Question:** Drawings call for Level 5 smooth finish to match existing. Please confirm if all new gypsum board is Level 5, including above ceilings, closets, restroom wet walls, and patched areas.

Response: *All new gypsum board is to be level 5 smooth finish.*

24. **Question:** Please confirm whether new acoustic ceiling tile/grid must match existing manufacturer, tile pattern, grid width/color, seismic category requirements, and whether existing ceiling grid/tile may be salvaged/reused.

Response: *The new acoustic ceiling tile/grid must match existing manufacturer, tile pattern, grid width/color, and seismic category requirements. The existing ceiling grid/tile may not be salvaged/reused.*

25. **Question:** Keynote 524 identifies a 24 x 24 insulated/gasketed access panel. Please confirm quantity, exact location, and specifications for access panels.

Response: *There is only one access panel in this project. It's location can be seen at 4/A2.21. The specification is called out in keynote 524 on sheet A2.21.*

26. **Question:** Please confirm full scope for the new single-user restroom, including demolition, new plumbing, venting, exhaust, lighting, accessories, signage, waterproof/mold-resistant gypsum board, tile/paint finish, and ADA compliance.

Response: *Full scope for the new single-user restroom can be seen at 1/A2.21, 2/A2.21, 3/A2.21, 4/A2.21, 5/A2.24, 3/M3.00, 4/M3.00, 4/E3.01, 3/E3.01, 2/E3.01, 1/E3.01, 4/E3.04, 1/P3.00, & 3/P3.00.*

27. **Question:** Please confirm whether grab bars, tissue/seat-cover dispenser, mirror, soap dispenser, paper towel dispenser, waste receptacle, signage, coat hook, and other accessories are Contractor-furnished or Owner-furnished.

Response: *All of the above listed items are to be furnished and installed by the GC.*

28. **Question:** Please advise if there are any pre-existing Mechanical concerns/issues with the existing system and/or if a Pre-Read Survey will be required. If so, please further advise.

Response: *No, a pre-read survey will not be required.*

29. **Question:** Please clarify scope for new telephone room 110, TI #1(Phase 1). Per sheet M3.00, a fan coil relocation is indicated. However, this fan coil to be relocated is in the TI #2 (phase 2). Please advise.

Response: *The fan coil relocation shall take place in phase 2 of the project. The relocation of the existing telecommunications board shall also take place in phase 2 of the project.*

30. **Question:** Please provide Spec/manufacturer for the Fan coil unit to be relocated in order to determine line set length validity.

Response: *The spec/manufacturer of the relocated fan coil unit to be verified by the GC on a site visit.*

31. **Question:** Please confirm exhaust fan locations, duct routing, roof/wall termination, backdraft damper, fire/smoke damper requirements, and whether existing shafts/ducts are available.

Response: *All of the abovementioned items can be seen on sheets M1.00, M3.00, M3.01, & M3.02.*

32. **Question:** Please confirm that the Owner will contract directly with Low-Voltage vendor. If GC is responsible, please provide preferred Vendor and contact info.

Response: *Owner will contract directly with Low-Voltage vendor.*

33. **Question:** General notes state some light fixtures approved by Owner are purchased by Owner, with Contractor including installation. Please confirm which fixtures are Owner-furnished versus Contractor-furnished.

Response: *All of the light fixtures are contractor furnished.*

34. **Question:** Please confirm paint manufacturer, sheen, color matching requirements, wall base material, and whether repainting is limited to new/affected walls or full wall planes/rooms.

Response: *The paint manufacturer is to be selected by the GC. The color and sheen are to match existing walls and to be color matched by the GC. There shall be wall bases at all locations throughout the project, wall bases to match existing. Repainting shall be full wall panes/rooms.*

35. **Question:** Please confirm whether liquidated damages apply to this project and, if so, provide the daily amount.

Response: *No, liquidated damages were not specified in the Notice to Bidders and do not apply to this project.*

36. **Question:** Per sheet E3.04, it appears rooftop condensing unit to be relocated. However, sheet M3.00 its states condensing unit is to remain. Please clarify.

Response: *The rooftop condensing unit is to remain where it is currently located.*

[End of Questions]

The bid opening date for receiving sealed bids has been confirmed for as follows:

Sealed Bids will be received at Coachella Valley Association of Governments, 74-199 El Paseo, Suite 100, Palm Desert, CA 92260, telephone (760) 346-1127 **until 3:00 pm PST on Tuesday, May 26, 2026** at which time they will be publicly opened at said address, for construction in accordance with the specifications therefore, to which special reference is made, as follows:

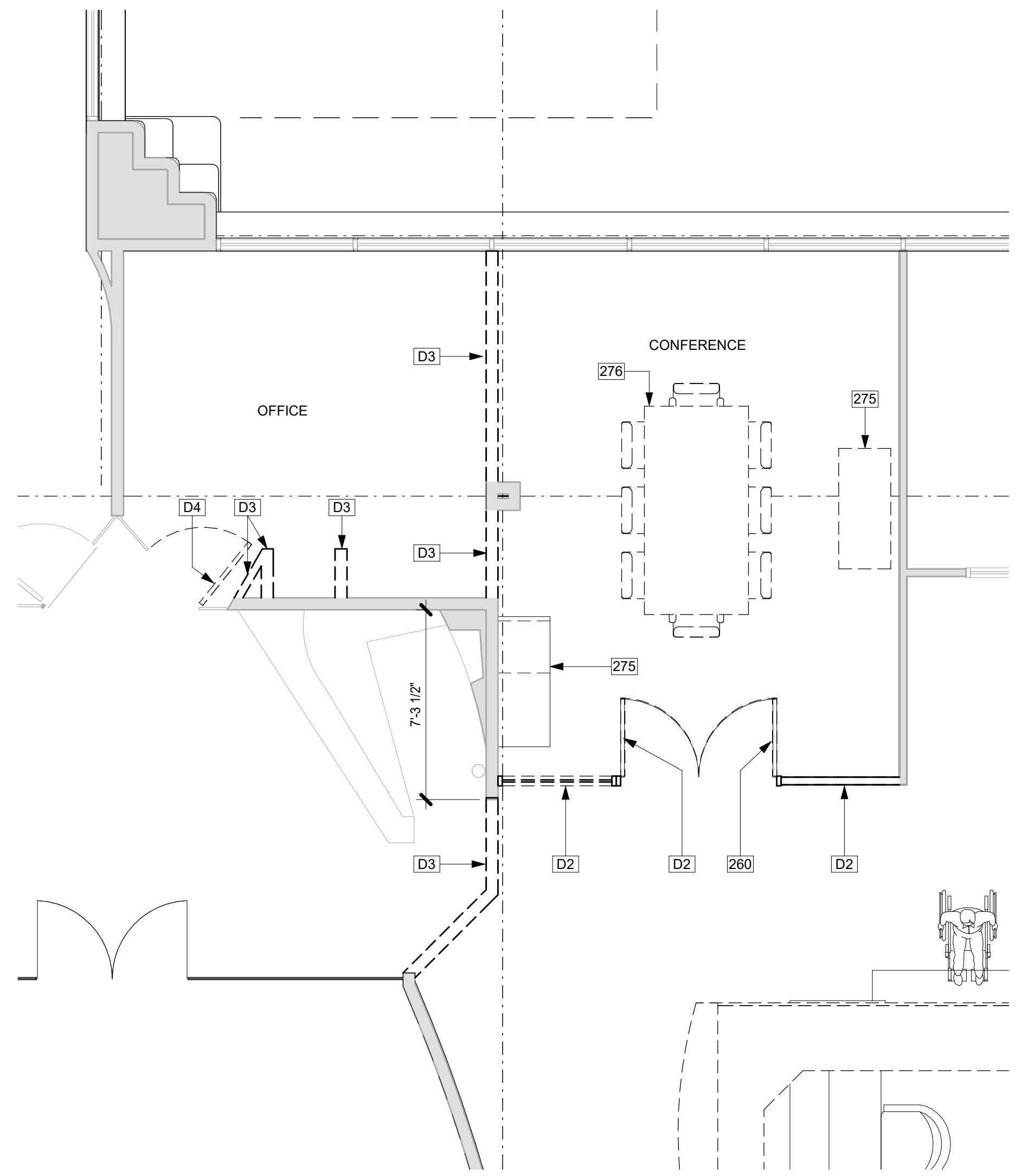
**CVAG Offices – Tenant Improvements Project (TIP)
Project No. CV-2026-TIP-01**

Acknowledgement: Bidders must acknowledge receipt of this Addendum by signing in the space provided below. This signed Addendum shall be included in the appendices section of the Bid.

Authorized
Signature: _____ Date: _____

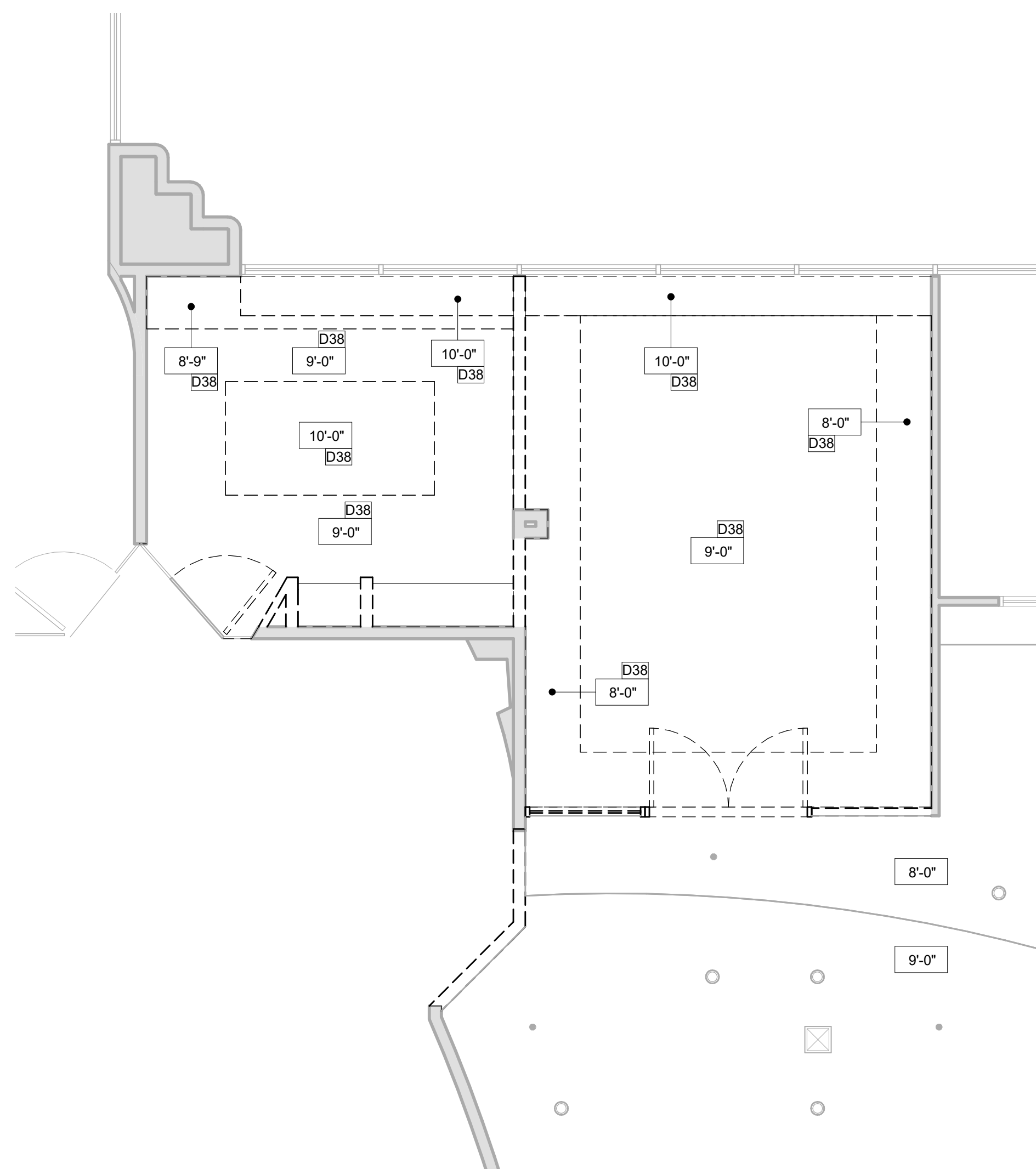
Company: _____

PHASE 1



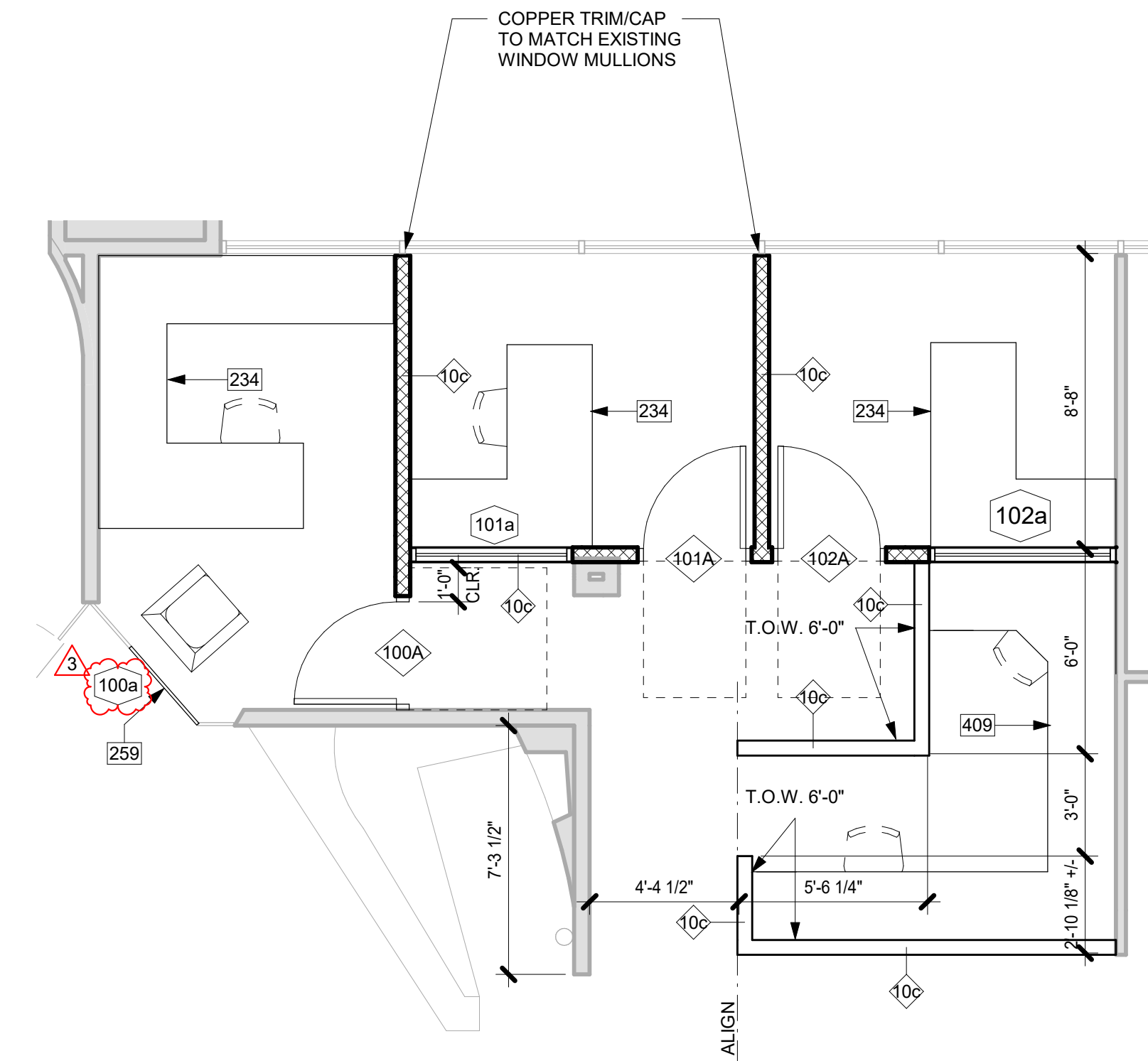
EXISTING / DEMO ENLARGED T.I. #1 FLOOR PLAN SCALE: 1/4" = 1'-0" 1

PHASE 1



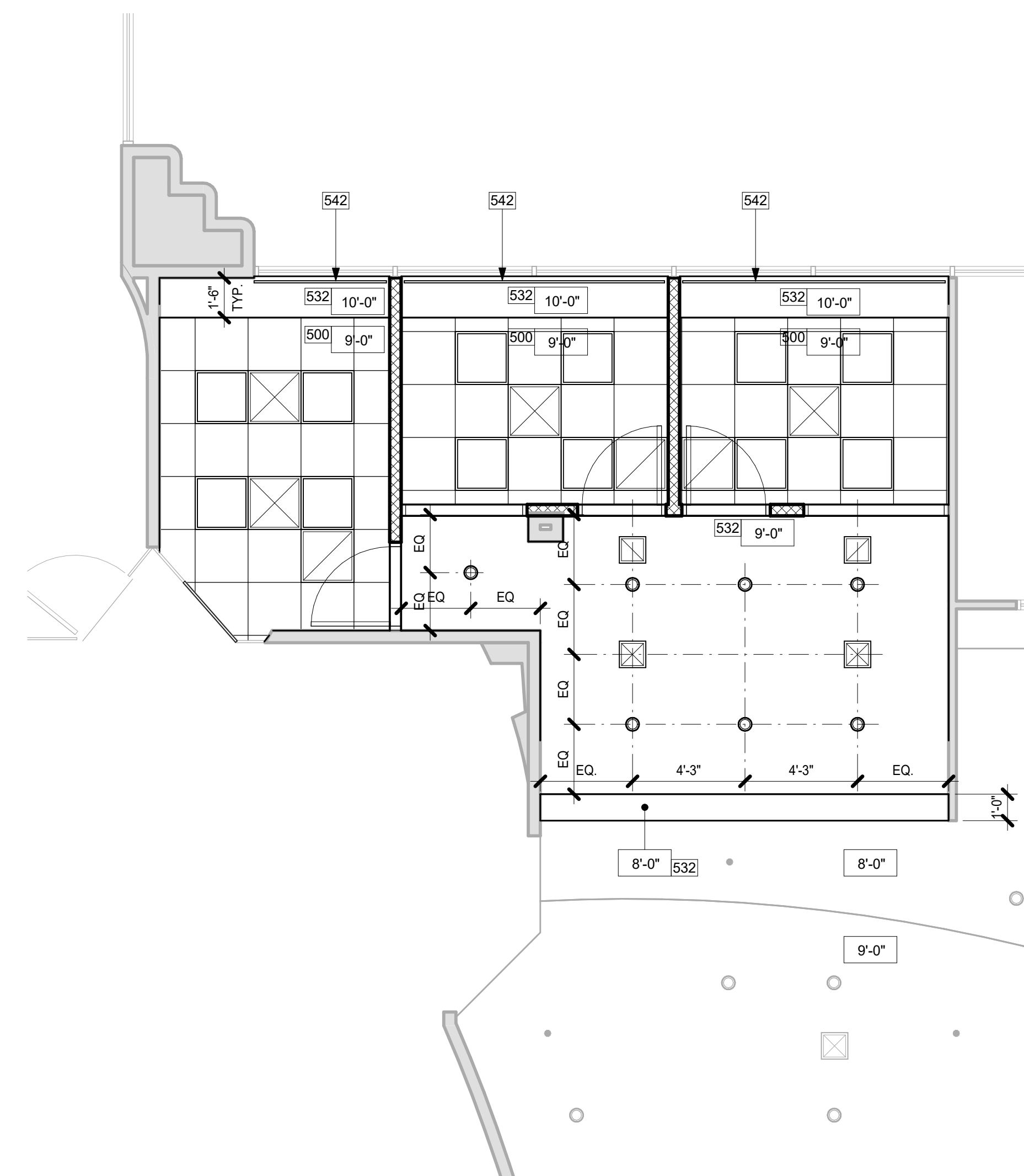
EXISTING / DEMO ENLARGED T.I. #1 REFLECTED CEILING PLAN SCALE: 1/4" = 1'-0" 3

PHASE 1



ENLARGED T.I. #1 FLOOR PLAN SCALE: 1/4" = 1'-0" 2

PHASE 1



NEW ENLARGED T.I. #1 REFLECTED CEILING PLAN SCALE: 1/4" = 1'-0" 4

NOTE:
DRYWALL CORNER EDGE FINISH TO MATCH EXISTING.
DRYWALL FINISH TO MATCH EXISTING.



KEYNOTES	
NO.	DESCRIPTION
234	FURNITURE BY OWNER
259	INFILL GLASS PANEL TO MATCH EXISTING
260	EXISTING DOOR TO BE REUSED AT 107A
275	EXISTING CASEWORK TO BE REUSED IN CONFERENCE 107.
276	EXISTING CONFERENCE TABLE TO BE REUSED IN CONFERENCE 107
409	(N) CASEWORK, SEE CABINET DRAWINGS
500	2X2' ACOUSTICAL SUSPENDED CEILING, TO MATCH EXISTING
532	5/8" TYPE 'X' GYP. BD., LEVEL 5 SMOOTH FINISH TO MATCH (E), PAINTED TO MATCH (E), (PROVIDE MOISTURE RESISTANT GYP. BD. AT WET AREAS).
542	ROLLER SHADES - DRAPER, FLEXSHADE, MANUALLY CONTROLLED, WITH SURFACE MOUNTED BOX, COLOR-WHITE, FABRIC TO BE #4400, 3% OPENNESS, COLOR-BONE, WITH METAL CHAINS, MOUNTED INTO CEILING NOT WINDOW FRAME
D2	(E) STOREFRONT WINDOW SYSTEM TO BE DOMOLISHED
D3	(E) WALL TO BE DEMOLISHED
D4	(E) DOOR TO BE REMOVED
D38	(E) CEILING TO BE DEMOLISHED

REFLECTED CEILING LEGEND	
	EXHAUST FAN
	MECHANICAL RETURN
	MECHANICAL SUPPLY
	RECESSED DOWN LIGHT

NOTE:
A. SEE ELECTRICAL DRAWINGS FOR LIGHT SPECIFICATIONS
B. SMOKE DETECTORS-PROVIDE A INVENSTYS "FIREX" 12000 SERIES "FADCM" SMOKE & CARBON MONOXIDE ALARM. DETECTORS SHALL BE CONNECTED TOGETHER WITH YELLOW WIRE AND ALL CONNECTED TO A COMMON DEDICATED CIRCUIT. DETECTORS SHALL BE PROVIDED WITH A BATTERY BACKUP AND AUDIBLE ALARM. PROVIDE PROVISIONS TO LOCK-ON THE SMOKE DETECTOR CIRCUIT BREAKER.

WALL SCHEDULE		
SYMBOL	KEY	DETAIL
	100	15 / A2.30
	110	14 / A2.30

APPROVED STAMP

No.	Description	Date
3	ADDENDUM A	5.18.26

OFFICE T.I.
FOR
CVAG
74199 EL PASEO, SUITE 100
PALM DESERT CA, 92260

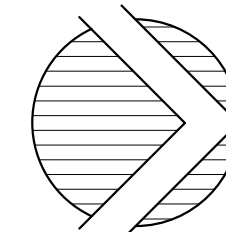
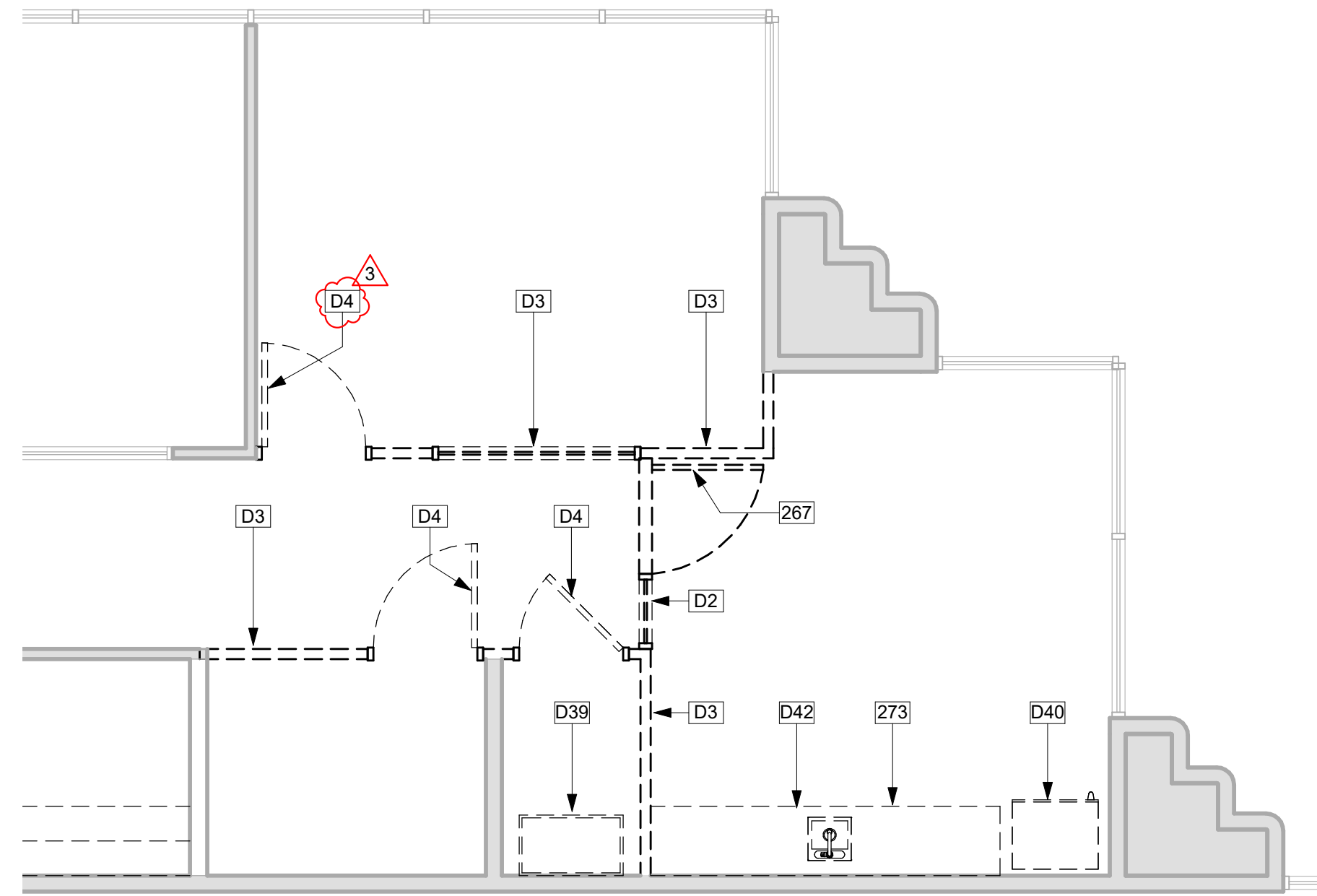
ENLARGED T.I. #1 PLANS
Scale: 1/4" = 1'-0"

INSTRUMENTS OF SERVICE
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DAVID G. PREST, AIA C-8690	
JOHN J. VUKSIC, AIA C-19210	
JOHN T. GREENWOOD, C-38012	
Project Number	224102
Date	Issue Date

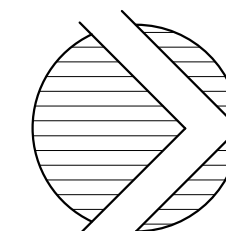
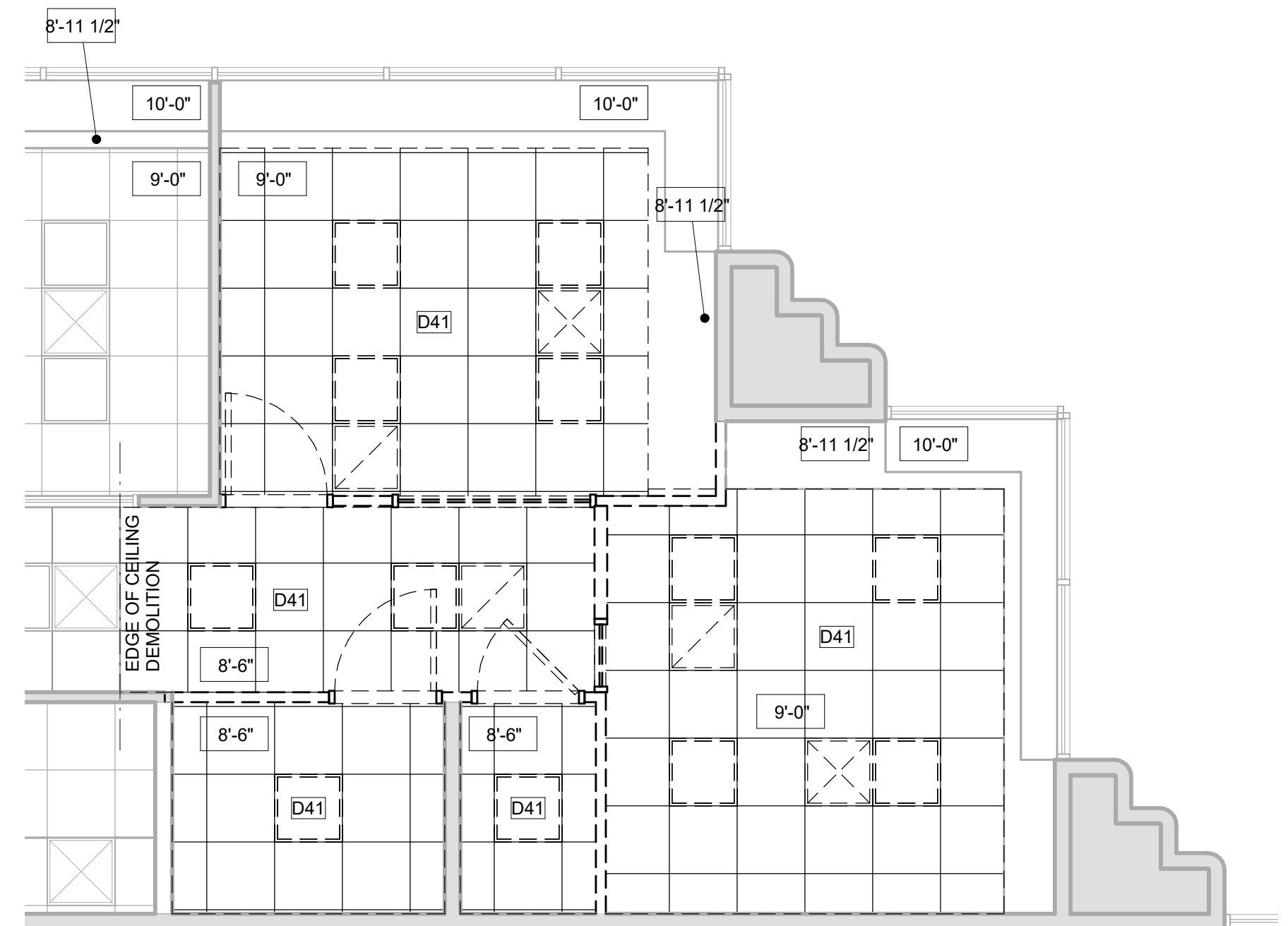
Project Status
A2.20

PHASE 2



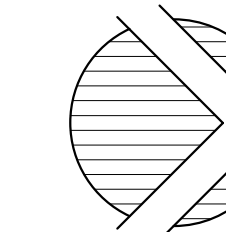
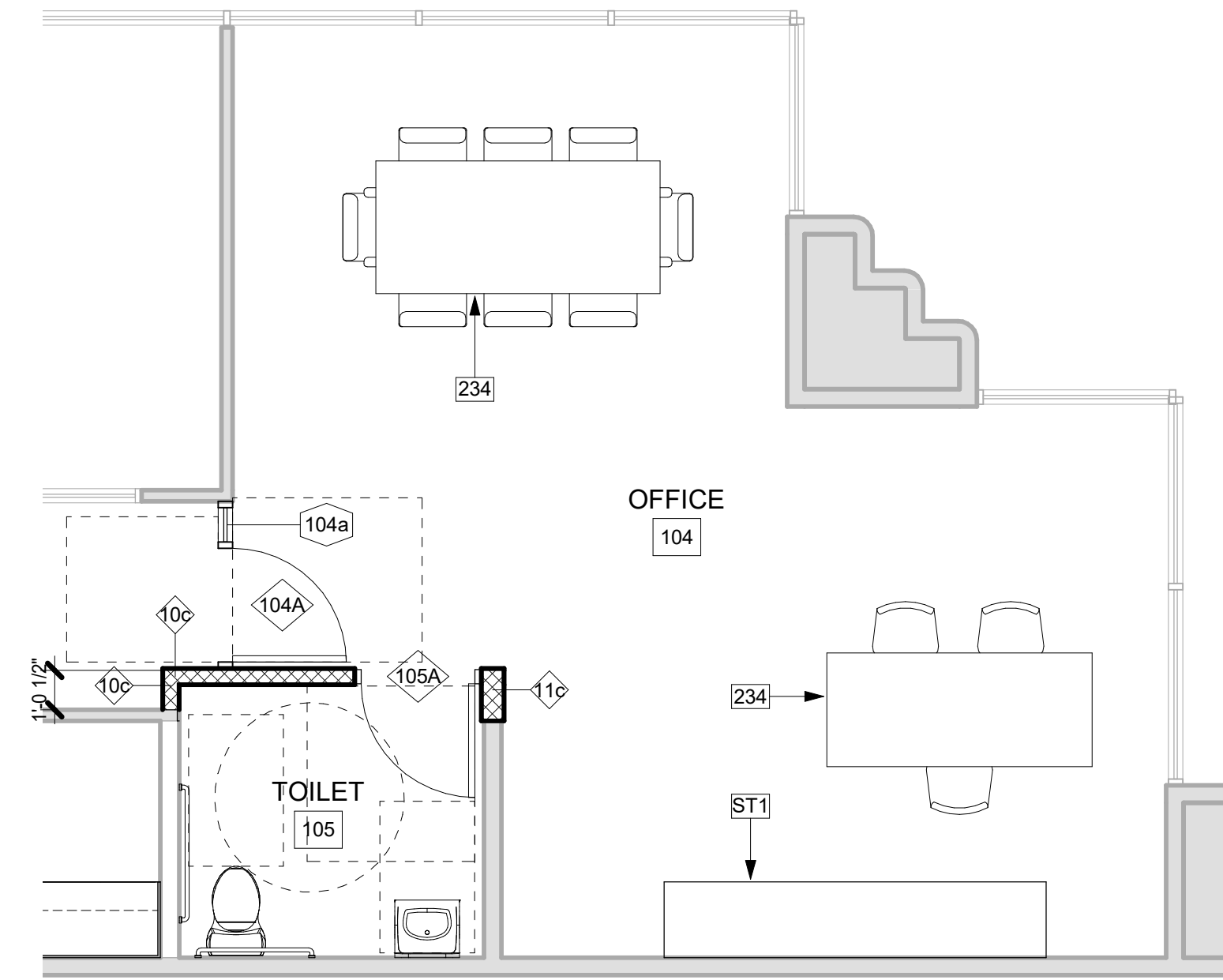
EXISTING / DEMO ENLARGED T.I. #2 FLOOR PLAN SCALE: 1/4" = 1'-0" 1

PHASE 2



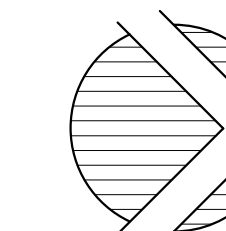
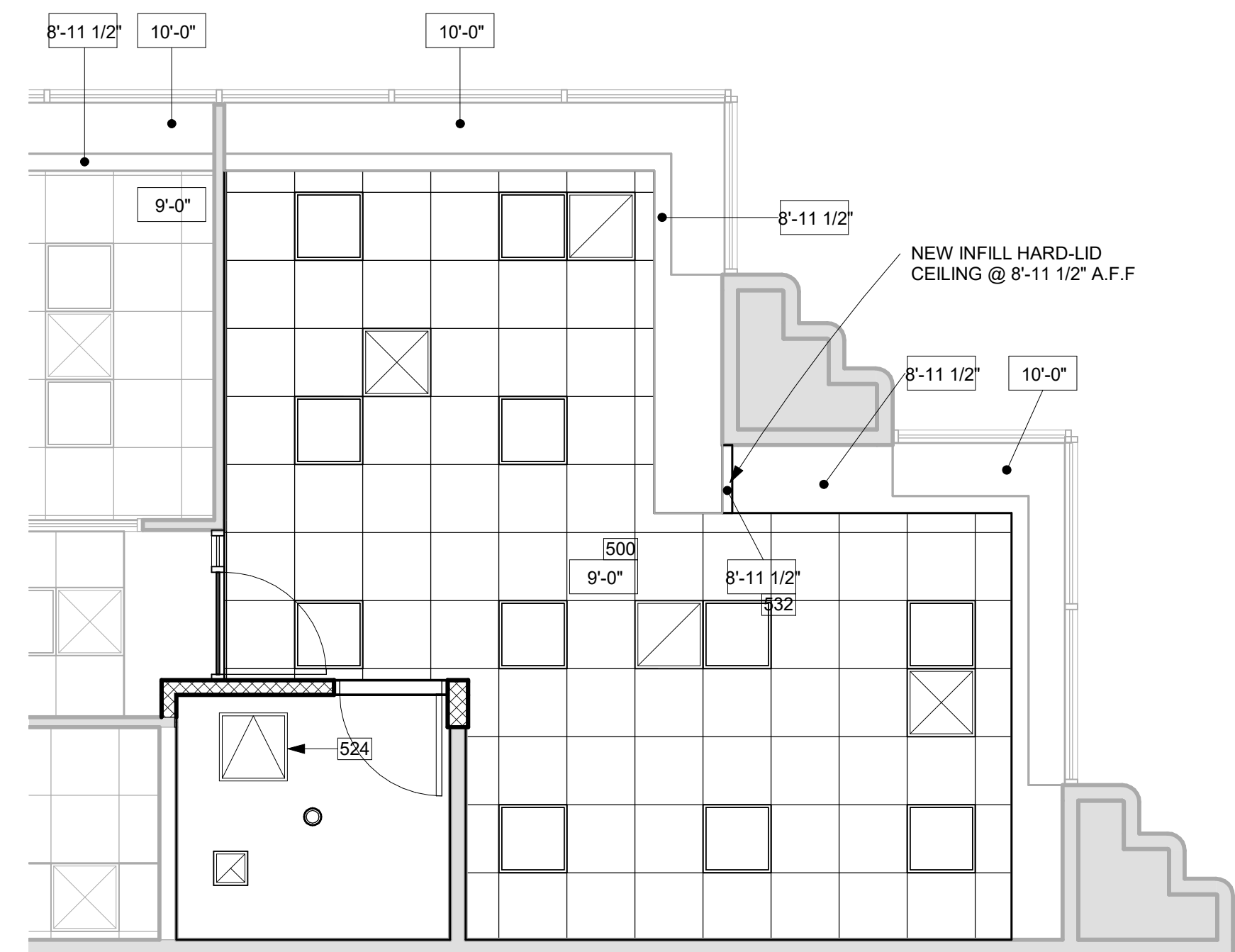
EXISTING / DEMO ENLARGED T.I. #2 REFLECTED CEILING PLAN SCALE: 1/4" = 1'-0" 3

PHASE 2



NEW ENLARGED T.I. #2 FLOOR PLAN SCALE: 1/4" = 1'-0" 2

PHASE 2



NEW ENLARGED T.I. #2 REFLECTED CEILING PLAN SCALE: 1/4" = 1'-0" 4

NOTE:
DRYWALL CORNER EDGE FINISH TO MATCH EXISTING.
DRYWALL FINISH TO MATCH EXISTING.

PREST | VUKSIC | GREENWOOD
ARCHITECTS . INTERIORS

44530 SAN PABLO AVE. STE 200
PALM DESERT, CA 92260
760.779.5393 T
info@pvgaarchitect.com
www.pvgaarchitect.com

KEYNOTES	
NO.	DESCRIPTION
234	FURNITURE BY OWNER
267	(E) DOOR TO BE REUSED AT 104A. IF DOOR HAS LOCKABLE HARDWARE, REPLACE W/ NEW HARDWARE SO DOOR CAN BE LOCKED FROM THE INSIDE
273	(E) CASEWORK TO REMAIN
500	2'X2' ACOUSTICAL SUSPENDED CEILING, TO MATCH EXISTING
524	24"X24" ALUMINUM, WHITE POWDER-COATED, INSULATED & GASKETED ACCESS PANEL, BEST ACCESS DOORS MODEL# BA-AL-24-24
532	5/8" TYPE "X" GYP. BD., LEVEL 5 SMOOTH FINISH TO MATCH (E), PAINTED TO MATCH (E) (PROVIDE MOISTURE RESISTENT GYP. BD. AT WET AREAS).
D3	(E) WALL TO BE DEMOLISHED
D2	(E) STOREFRONT WINDOW SYSTEM TO BE DEMOLISHED
D3	(E) WALL TO BE DEMOLISHED
D4	(E) DOOR TO BE REMOVED
D39	(E) MOP SINK TO BE DEMOLISHED
D40	(E) REFRIGERATOR TO BE REMOVED
D41	(E) T-BAR CEILING TO BE DEMOLISHED
D42	(E) HARD-TOP SURFACE & SINK TO BE REMOVED, PLUMBING TO BE CAPPED OFF AT WALL
ST1	SOLID SURFACE SLAB, HANEX SOLID SURFACES, BL-213 MONTBLANC

REFLECTED CEILING LEGEND	
	EXHAUST FAN
	MECHANICAL RETURN
	MECHANICAL SUPPLY
	RECESSED DOWN LIGHT

NOTE:
A. SEE ELECTRICAL DRAWINGS FOR LIGHT SPECIFICATIONS
B. SMOKE DETECTORS-PROVIDE A INVENSY'S "FIREX" 12000 SERIES "FADCM" SMOKE & CARBON MONOXIDE ALARM. DETECTORS SHALL BE CONNECTED TOGETHER WITH YELLOW WIRE AND ALL CONNECTED TO A COMMON DEDICATED CIRCUIT. DETECTORS SHALL BE PROVIDED WITH A BATTERY BACKUP AND AUDIBLE ALARM. PROVIDE PROVISIONS TO LOCK-ON THE SMOKE DETECTOR CIRCUIT BREAKER.

WALL SCHEDULE		
SYMBOL	KEY	DETAIL
	15'	A2.30
	14'	A2.30

APPROVED STAMP		
No.	Description	Date
3	ADDENDUM A	5.18.26

No.	Description	Date
3	ADDENDUM A	5.18.26

OFFICE T.I.
FOR
CVAG
74199 EL PASEO, SUITE 100
PALM DESERT CA, 92260

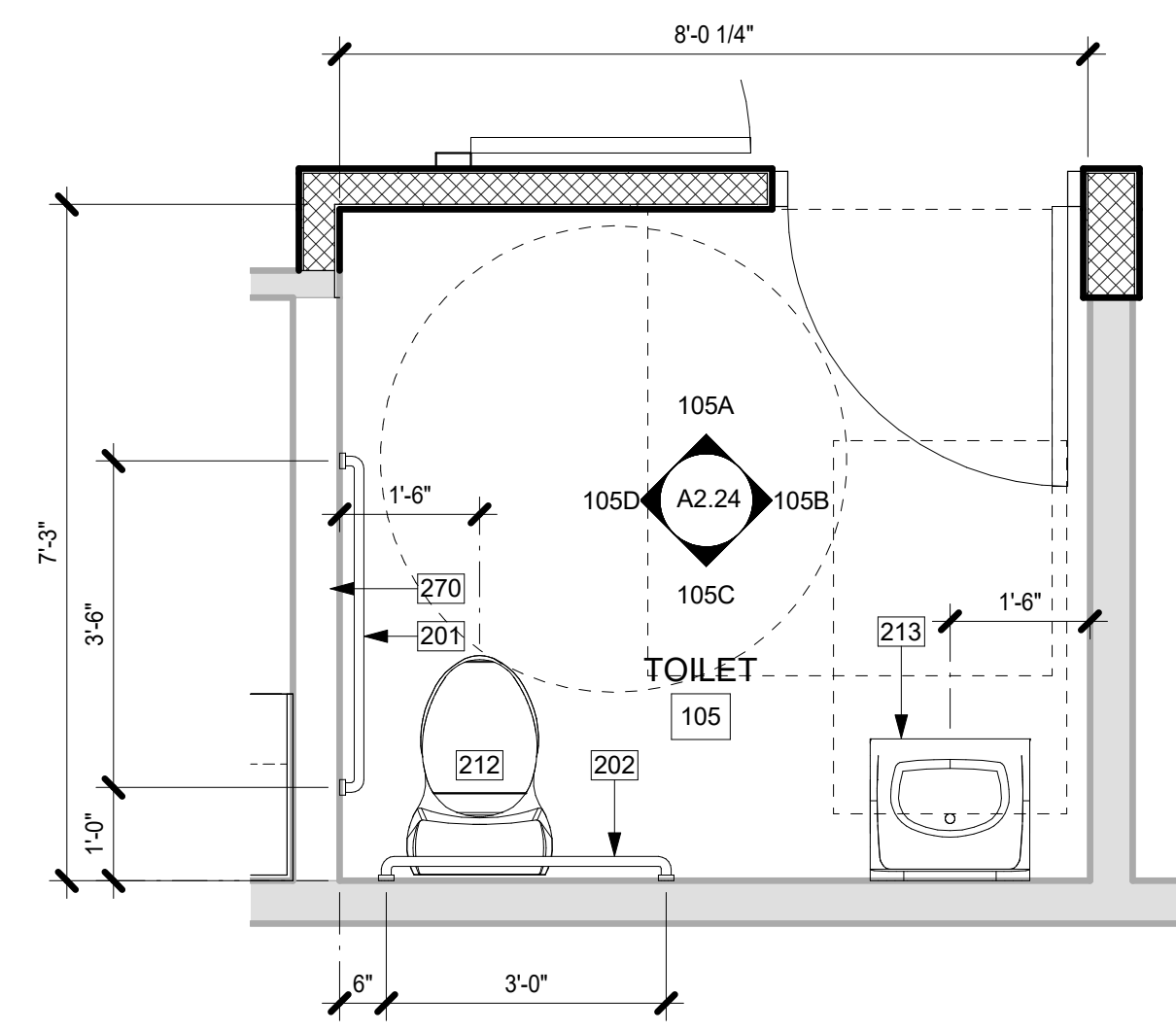
ENLARGED T.I. #2 PLANS
Scale: 1/4" = 1'-0"

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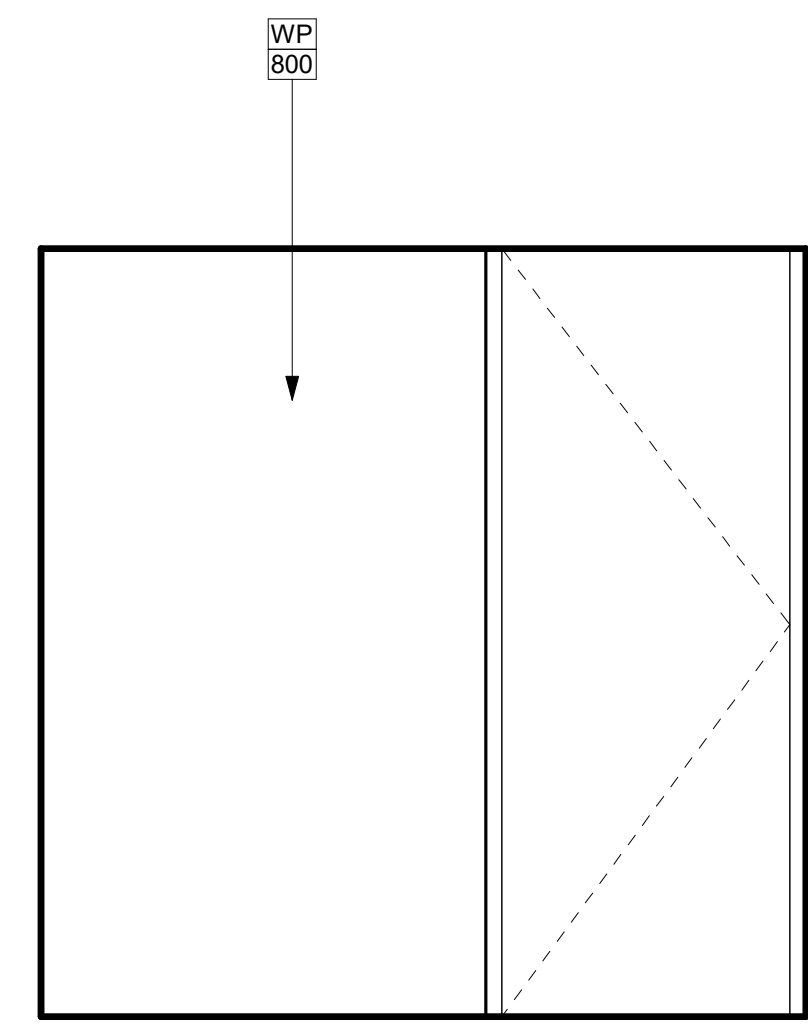
DAVID G. PREST, AIA C-8690	
JOHN J. VUKSIC, AIA C-19210	
JOHN T. GREENWOOD, C-38012	
Project Number	224102
Date	Issue Date

Project Status
A2.21

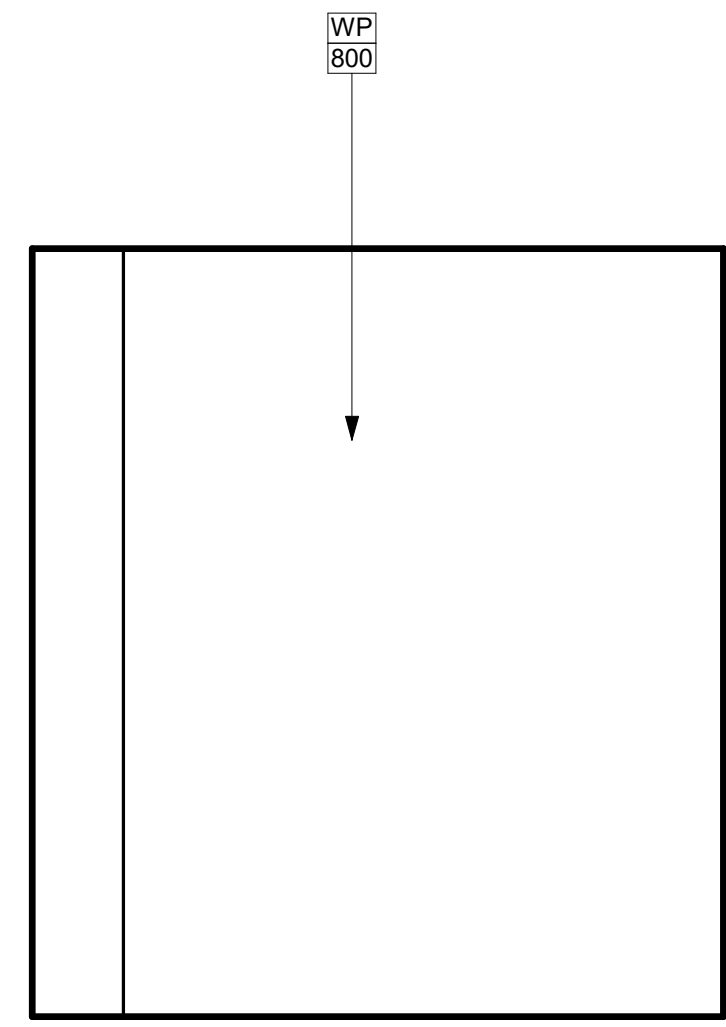
PHASE 2



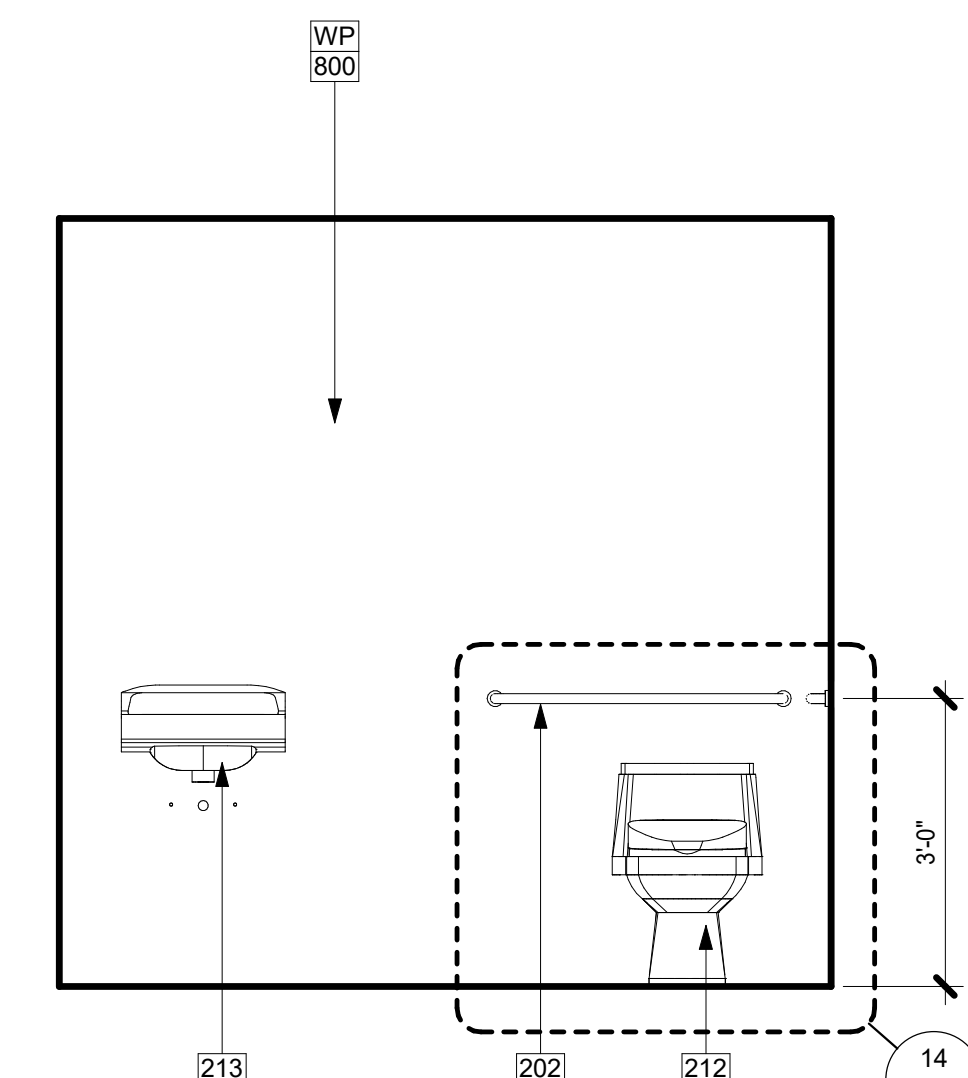
PLAN



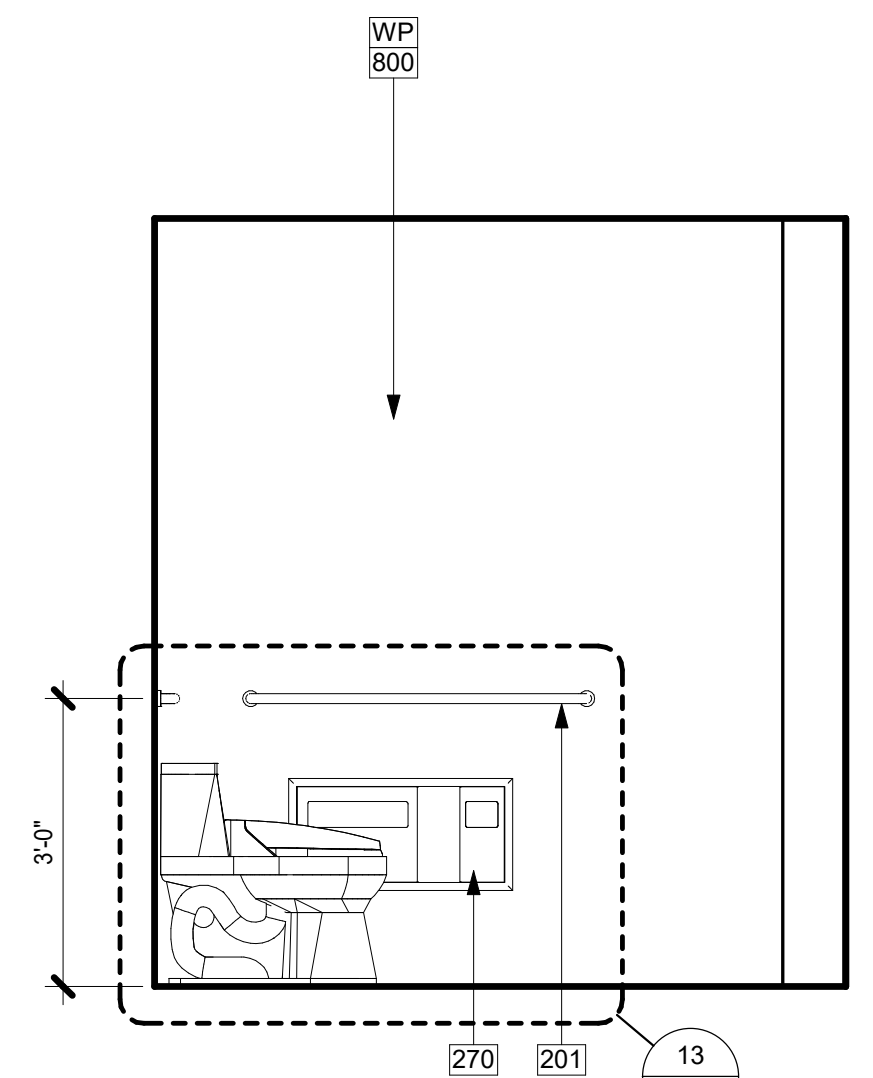
ELEVATION - 105A
1/2" = 1'-0"



ELEVATION - 105B
1/2" = 1'-0"



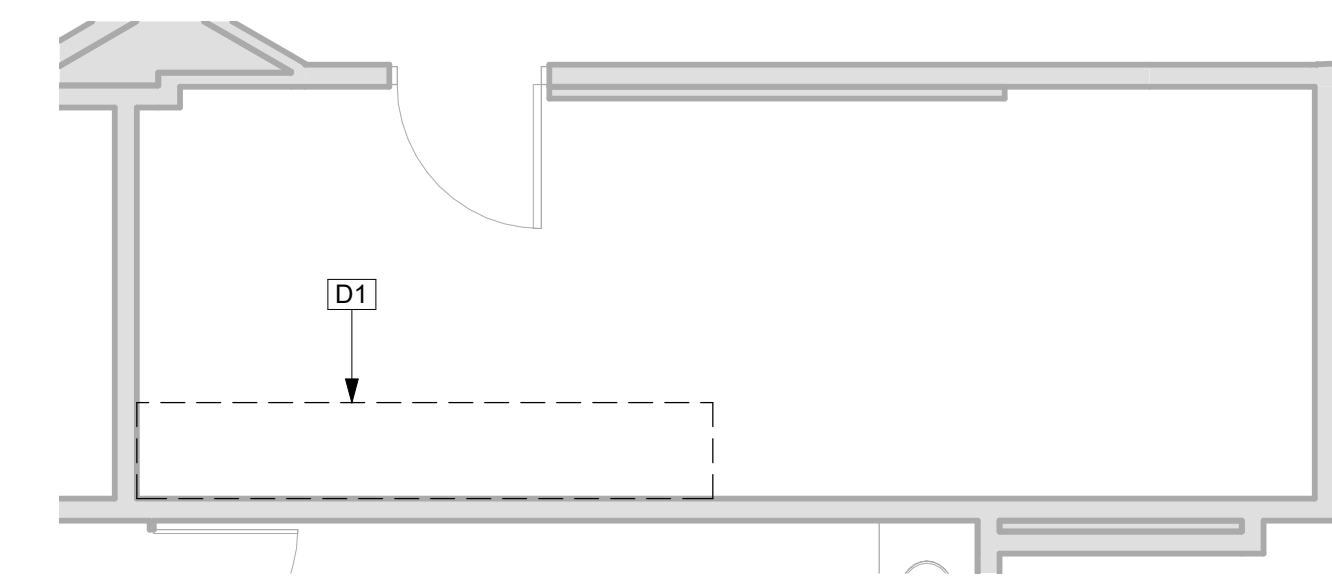
ELEVATION - 105C
1/2" = 1'-0"



ELEVATION - 105D
1/2" = 1'-0"

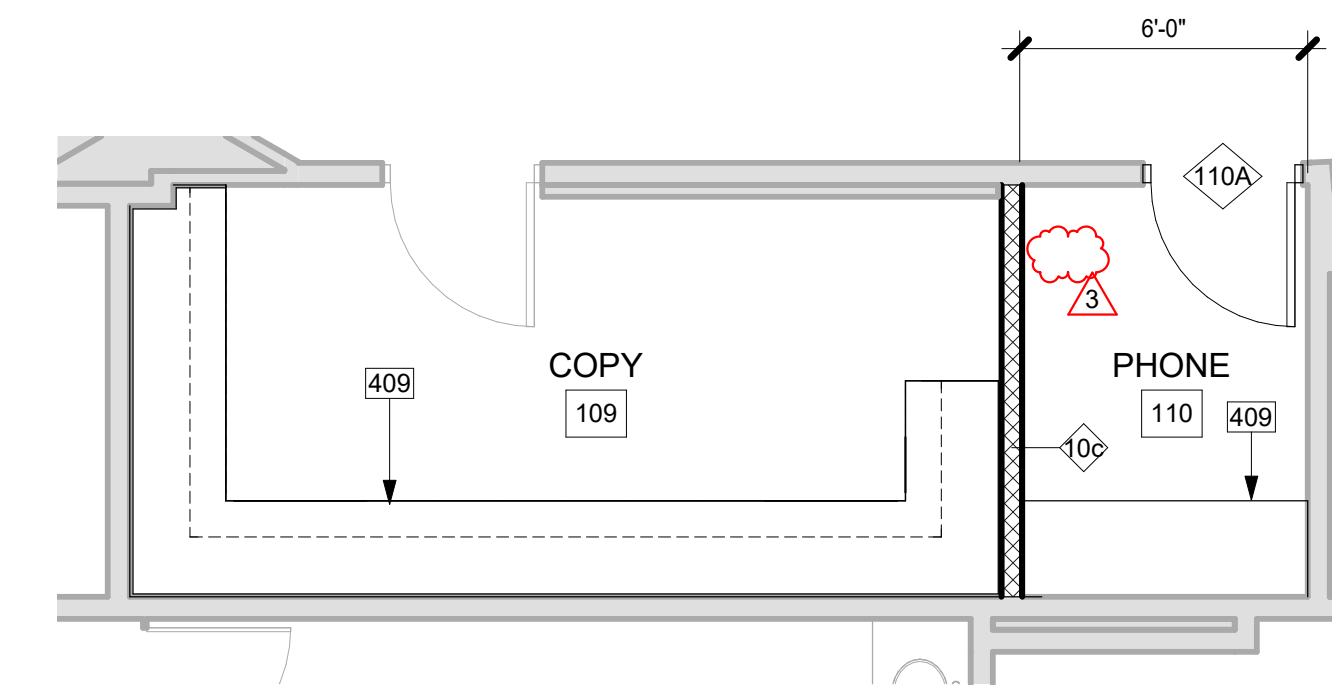
ENLARGED TOILET 105 SCALE: 1/2" = 1'-0" 5

PHASE 1



EXISTING / DEMO ENLARGED T.I. #4 FLOOR PLAN Copy 2 SCALE: 1/4" = 1'-0" 1

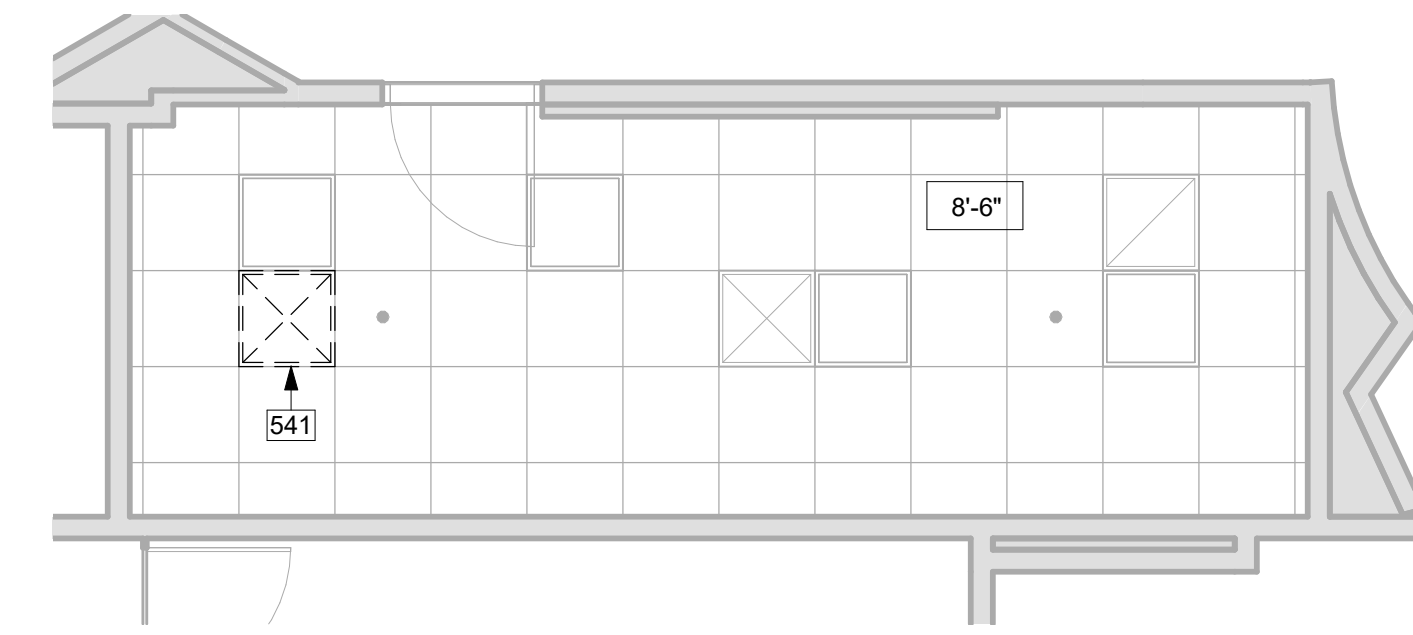
PHASE 1



NOTE:
DRYWALL CORNER EDGE FINISH TO MATCH EXISTING.
DRYWALL FINISH TO MATCH EXISTING.

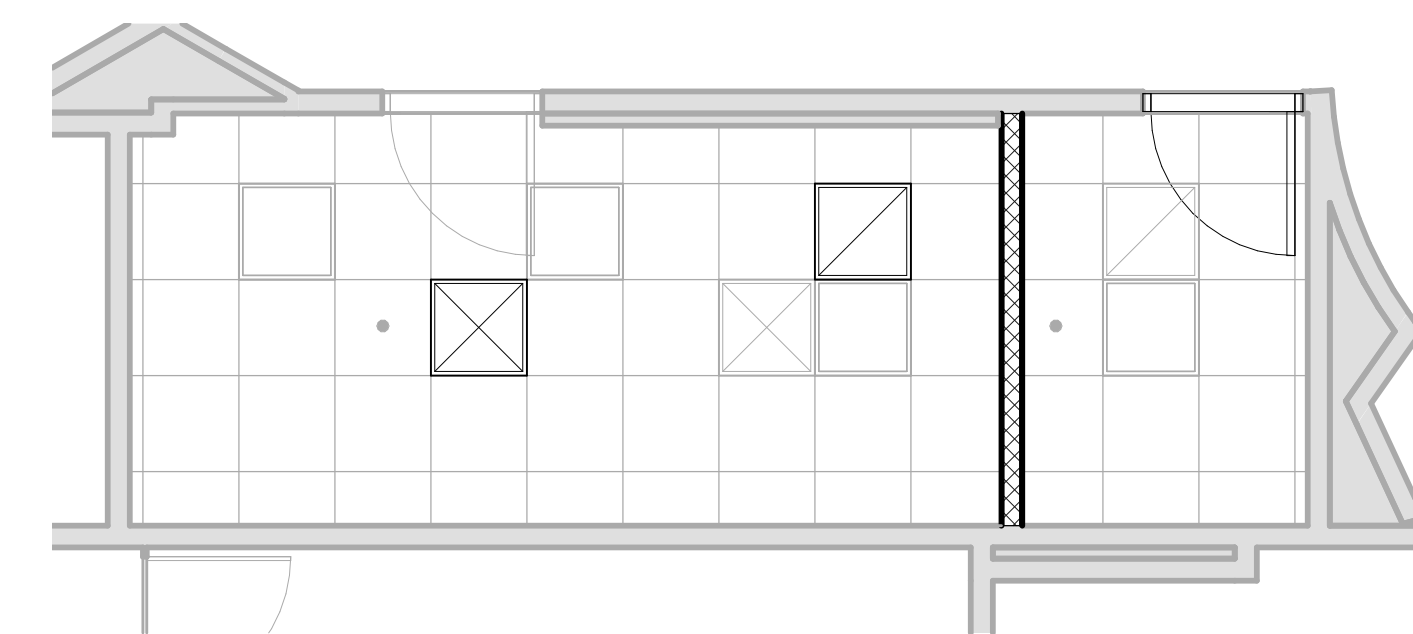
NEW ENLARGED T.I. #5 FLOOR PLAN SCALE: 1/4" = 1'-0" 2

PHASE 1



EXISTING / DEMO ENLARGED T.I. #5 RCP SCALE: 1/4" = 1'-0" 3

PHASE 1



NEW ENLARGED T.I. #5 RCP SCALE: 1/4" = 1'-0" 4



44530 SAN PABLO AVE. STE 200
PALM DESERT, CA 92260
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info@pvgharchitect.com
www.pvgharchitect.com

KEYNOTES

NO.	DESCRIPTION
201	BOBRICK B-5806, 42" WALL MOUNTED GRAB BAR, SATIN FINISH
202	BOBRICK B-5806, 36" WALL MOUNTED GRAB BAR, SATIN FINISH
212	ACCESSIBLE WATER CLOSET, SEE PLUMBING
213	WALL MOUNTED ACCESSIBLE LAVATORY, SEE PLUMBING
270	BOBRICK COMBINATION TISSUE, TOILET SEAT COVER DISPENSER, B-3092
409	(N) CASEWORK, SEE CABINET DRAWINGS
541	(E) MECHANICAL SUPPLY TO BE RELOCATED
800	5/8" TYPE "X" GYP. BD., LEVEL 5 SMOOTH FINISH, PAINTED PER FINISH SCHEDULE (PROVIDE MOISTURE RESISTANT GYP. BD. AT WET AREAS)
D1	(E) CASEWORK TO BE DEMOLISHED, DRYWALL TO BE PATCHED & REPAIRED
WP	PAINT COLOR TO MATCH EXISTING

REFLECTED CEILING LEGEND

- EXHAUST FAN
- MECHANICAL RETURN
- MECHANICAL SUPPLY
- RECESSED DOWN LIGHT

NOTE:
A. SEE ELECTRICAL DRAWINGS FOR LIGHT SPECIFICATIONS
B. SMOKE DETECTORS-PROVIDE A INVENYS "FIREX" 12000 SERIES "FACOM" SMOKE & CARBON MONOXIDE ALARM. DETECTORS SHALL BE CONNECTED TOGETHER WITH YELLOW WIRE AND ALL CONNECTED TO A COMMON DEDICATED CIRCUIT. DETECTORS SHALL BE PROVIDED WITH A BATTERY BACKUP AND AUDIBLE ALARM. PROVIDE PROVISIONS TO LOCK-ON THE SMOKE DETECTOR CIRCUIT BREAKER.

WALL SCHEDULE

SYMBOL	KEY	DETAIL
	15 / A2.30	
	14 / A2.30	

APPROVED STAMP

No.	Description	Date
3	ADDENDUM A	5.18.26

OFFICE T.I. FOR CVAG

74199 EL PASEO, SUITE 100
PALM DESERT CA, 92260

ENLARGED T.I. #5 PLANS & ENLARGED RESTROOM

Scale: As indicated

INSTRUMENTS OF SERVICE
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DAVID G. PREST, AIA C-8690	
JOHN J. VUKSIC, AIA C-19210	
JOHN T. GREENWOOD, C-38012	
Project Number	224102
Date	Issue Date

Project Status

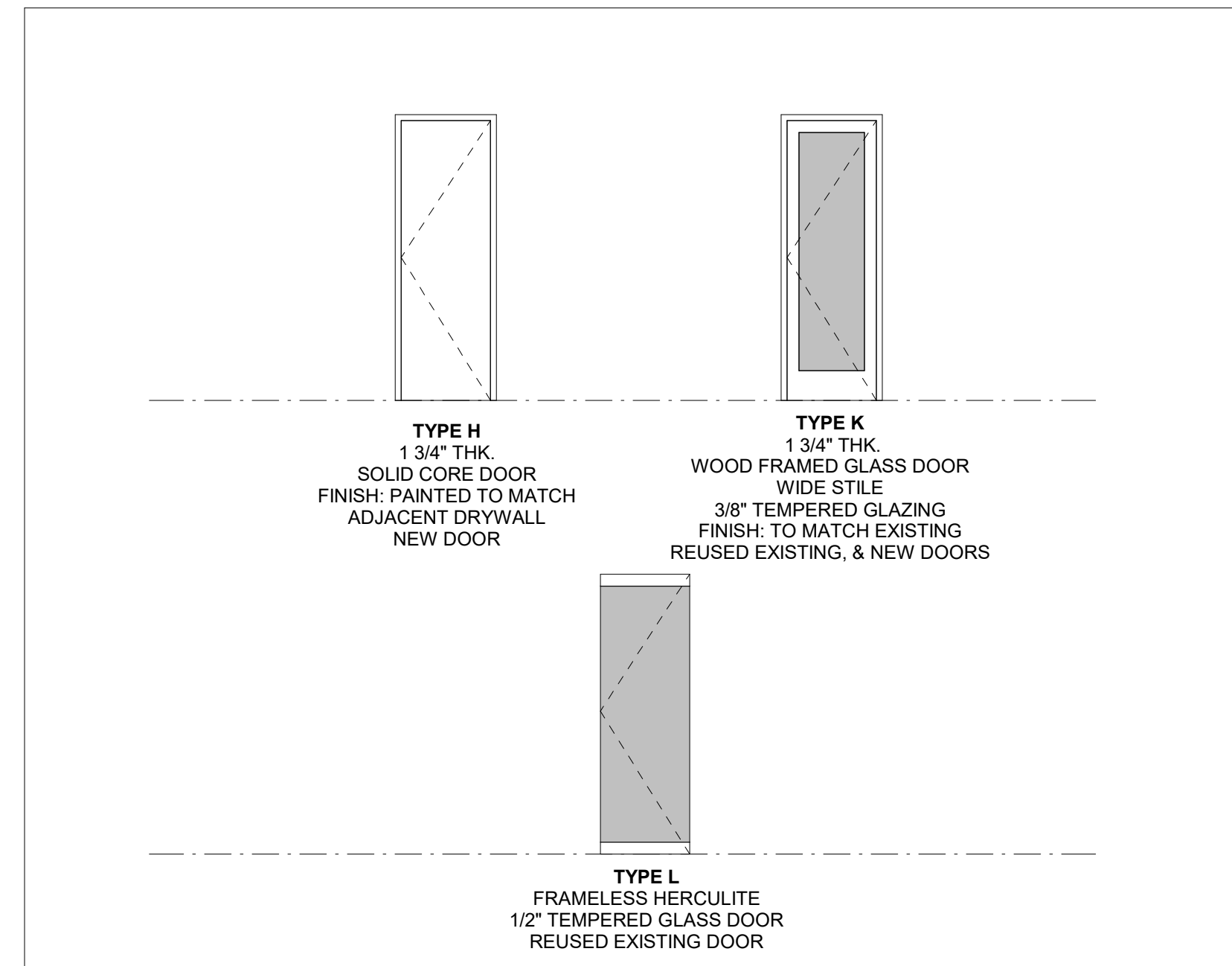
A2.24

WINDOW SCHEDULE				
MARK	GLAZING AREA	U-FACTOR	SHGC	REMARKS
100a				FRAMELESS, 1/2" TEMPERED GLAZING, COLOR TO MATCH EXISTING
101a				CLR. ANOD. WESTERN INTEGRATED FRAME, 3/8" TEMPERED GLAZING
102a				CLR. ANOD. WESTERN INTEGRATED FRAME, 3/8" TEMPERED GLAZING
104a				CLR. ANOD. WESTERN INTEGRATED FRAME, 3/8" TEMPERED GLAZING

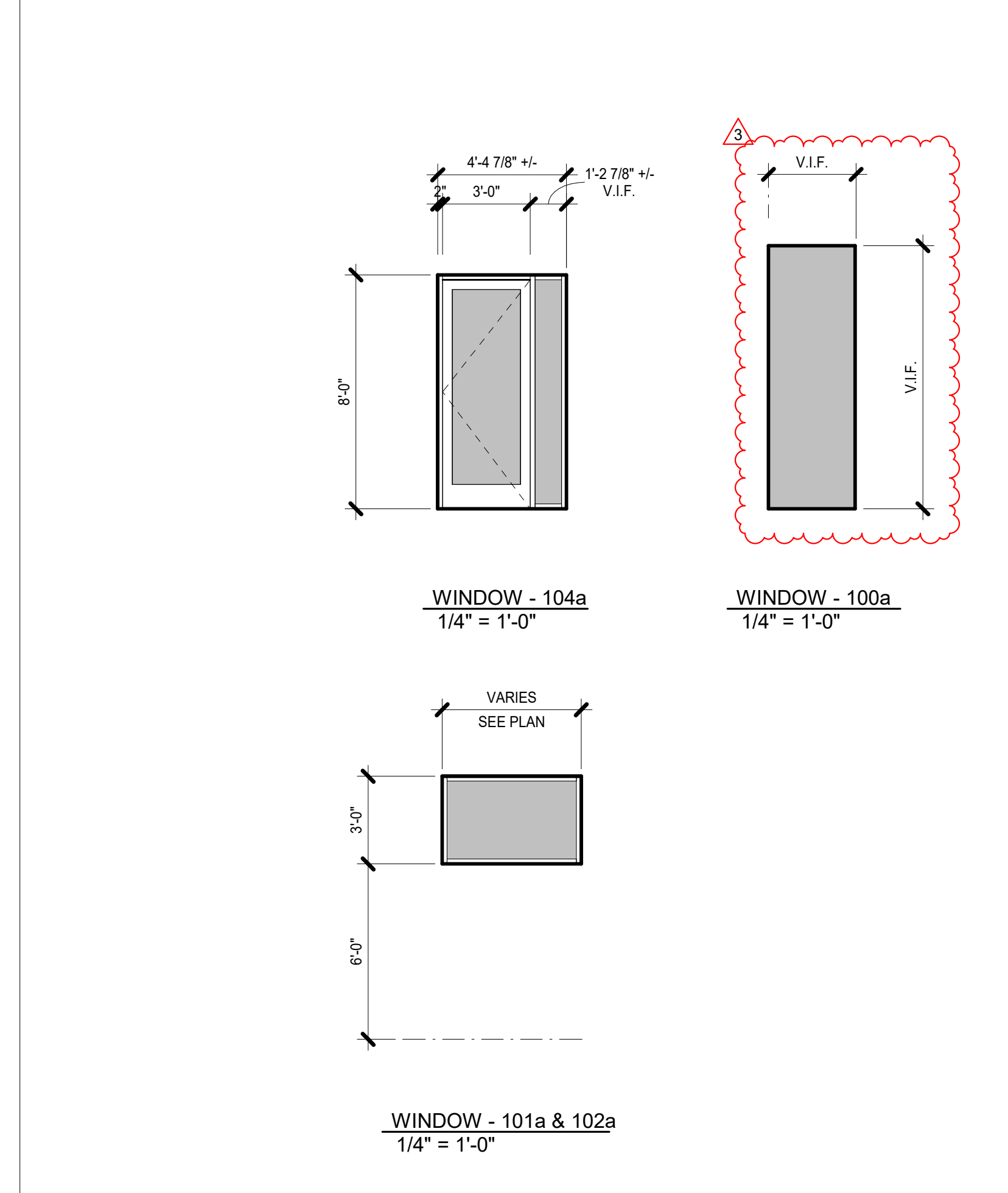
DOOR SCHEDULE					
DOOR NO.	TYPE	WIDTH	HEIGHT	THK	FRAME
100A	K	3'-0"	7'-10"	2"	CLR. ANOD. WESTERN INTEGRATED
101A	K	3'-0"	7'-10"	2"	CLR. ANOD. WESTERN INTEGRATED
102A	K	3'-0"	7'-10"	2"	CLR. ANOD. WESTERN INTEGRATED
104A	K	3'-0"	7'-10"	2"	CLR. ANOD. WESTERN INTEGRATED
105A	H	3'-0"	8'-0"	2"	CLR. ANOD. WESTERN INTEGRATED
107A	L	3'-0"	8'-0"	2"	FRAMELESS
110A	K	3'-0"	7'-10"	2"	CLR. ANOD. WESTERN INTEGRATED

REUSED DOOR

REUSED DOOR



DOOR TYPES SCALE: 1/4" = 1'-0"



WINDOW ELEVATIONS SCALE: 1/4" = 1'-0" 1

PREST | VUKSIC | GREENWOOD
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- DOOR NOTES:**
- AT ELECTRICAL ROOM, FIRE RISER AND ROOF ACCESS PROVIDE SIGNAGE AS REQ'D BY CODE.
 - ALL DOOR OPENINGS ARE TO BE FIELD MEASURED PRIOR TO FABRICATION.
 - CONTRACTOR TO PROVIDE SAMPLES FOR LETTERING FONT, SIZE, COLOR AND PLACEMENT OF SIGNS FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
 - ALL DOOR CLOSER HARDWARE SHALL BE ADJUSTABLE. CONTRACTOR TO PROVIDE HARDWARE LIST FOR ARCHITECT'S APPROVAL. REFER TO HARDWARE NOTES ON THIS SHEET FOR ADDITIONAL INFORMATION.
 - ALL GLAZING TO BE TEMPERED.
 - EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (CBC 1008.1.9, 1008.1.9.5)
 - ALL EXTERIOR DOORS FRAMES THAT ARE NOT "FACTORY FINISHED" TO BE PRIMED AND PAINTED.
 - EACH LEAF OF DOOR IN THE MEANS OF EGRESS SHALL PROVIDE 32 INCHES CLEAR OPENING AND A MINIMUM HEIGHT OF 6'-8" BUT IN NO CASE SHALL ANY SINGLE LEAF EXCEED 48" CBC 1008.1.
 - EXIT DOORS SHALL HAVE A READILY VISIBLE DURABLE SIGN POSTED ON THE EGRESS SIDE OF THE DOOR THAT SHALL READ: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED"; THE SIGN SHALL BE IN LETTERS 1" HIGH ON A CONTRASTING BACKGROUND.
 - HARDWARE SHALL COMPLY WITH 11B-404.2.7 & 309.4
 - THE FORCE FOR PUSHING, PULLING OR SLIDING A DOOR SHALL NOT EXCEED 5 LBS MAXIMUM, 11B-404.2.9. ALL CLOSERS SHALL BE ADJUSTABLE.
 - AUTOMATIC AND POWER-ASSISTED DOORS SHALL COMPLY WITH 11B-404.3
 - DOOR HARDWARE COLOR TO MATCH ADJACENT FRAME UNLESS OTHERWISE SPECIFIED.

- GLAZING NOTES:**
- DIMENSIONS ARE TO BE USED AS A GUIDE LINE ONLY AND IN MANY CASES DO NOT ACCOUNT FOR FINISHES.
 - ALL GLASS OPENINGS ARE TO BE FIELD MEASURED PRIOR TO FABRICATION.
 - WINDOW WIDTHS SHOWN ON PLANS TO MATCH ROUGH FRAMING OPENING DIMENSIONS.
 - CONTRACTOR IS TO ALLOW FOR SHIM EQUAL TO THICKNESS OF PLASTER AS SHOWN IN DETAILS AND ADJUST WINDOW WIDTH ACCORDINGLY.
 - MANUFACTURER LABELS ARE TO REMAIN UNTIL FINAL INSPECTION APPROVAL.
 - THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
 - WINDOW FABRICATOR TO PROVIDE DETAILS AND SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
 - ALL SWINGING DOORS AND WINDOWS OPENING TO THE EXTERIOR OR TO UNCONDITIONED AREAS SUCH AS GARAGES, SHALL BE FULLY WEATHER-STRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT INFILTRATION.
 - ALL MANUFACTURED WINDOWS AND SLIDING GLASS DOORS SHALL MEET THE AIR INFILTRATION STANDARDS OF THE 1972 AMERICAN NATIONAL STANDARDS INSTITUTE A.S.T.M. 283-73 WITH PRESSURE DIFFERENTIAL OF 1.57 psf (25 mph) AND SHALL BE CERTIFIED AND LABELED.

APPROVED STAMP

No.	Description	Date
3	ADDENDUM A	5.18.26

OFFICE T.I.
FOR
CVAG
74199 EL PASEO, SUITE 100
PALM DESERT CA, 92260

DOOR & WINDOW SCHEDULE

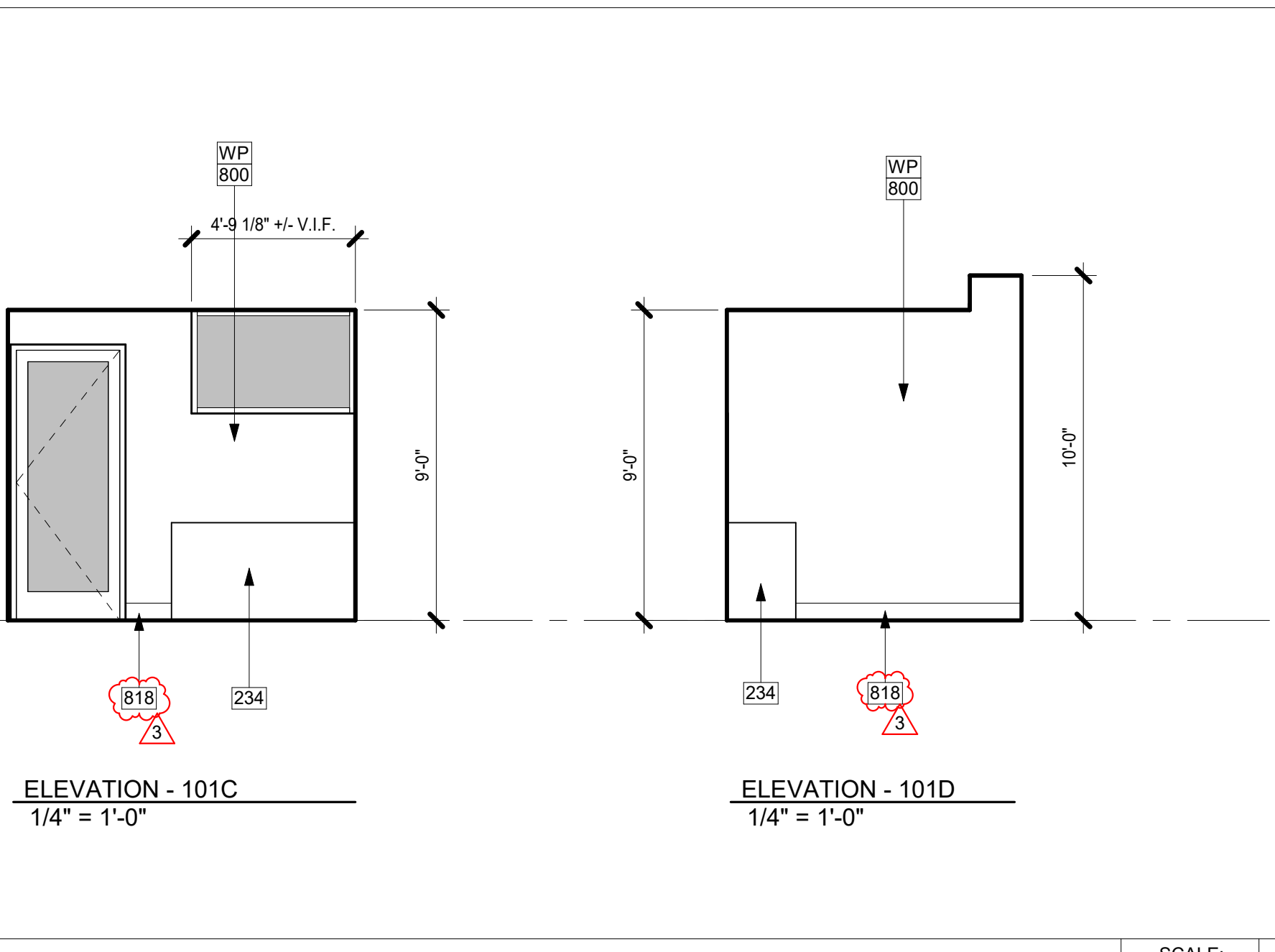
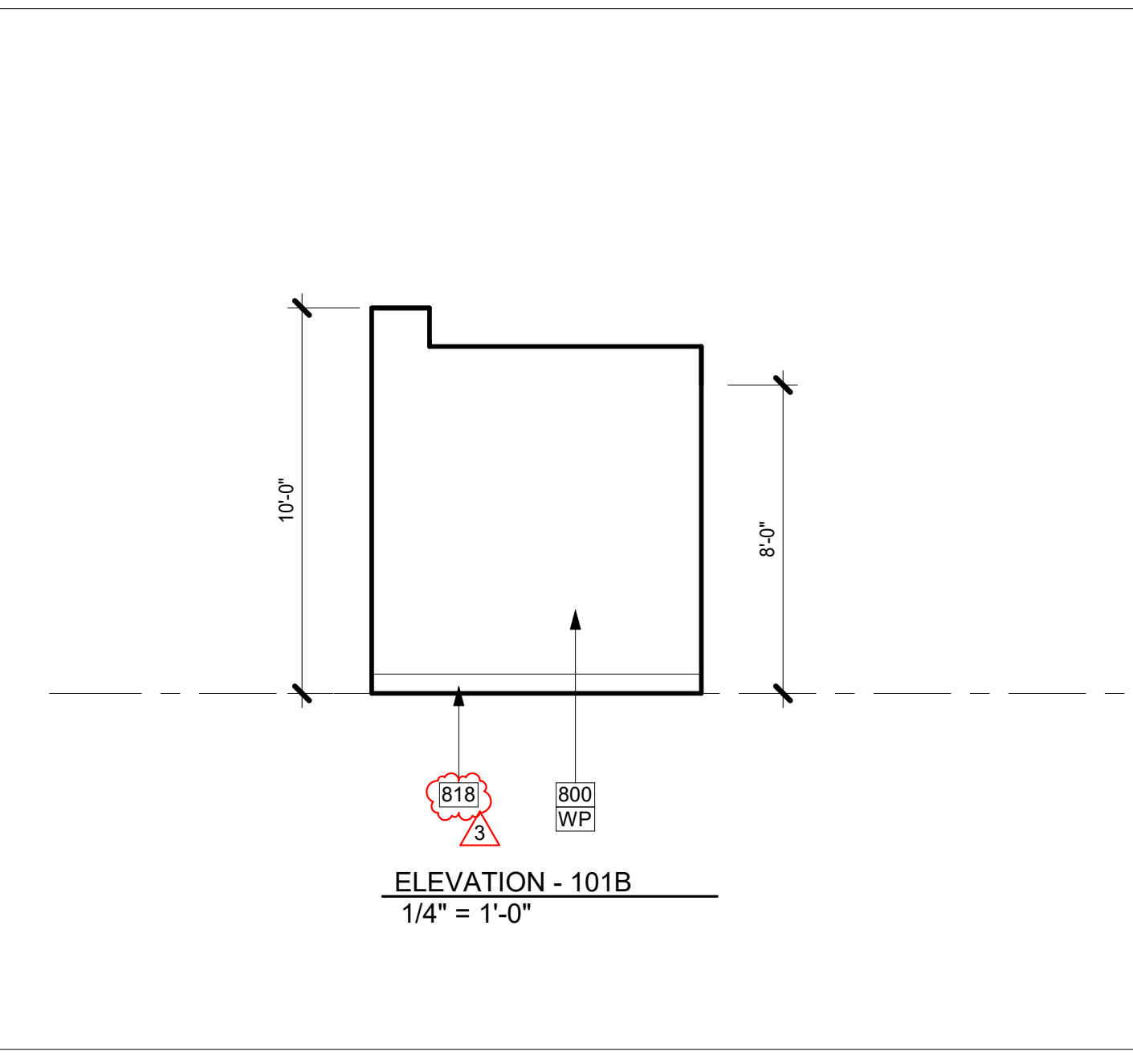
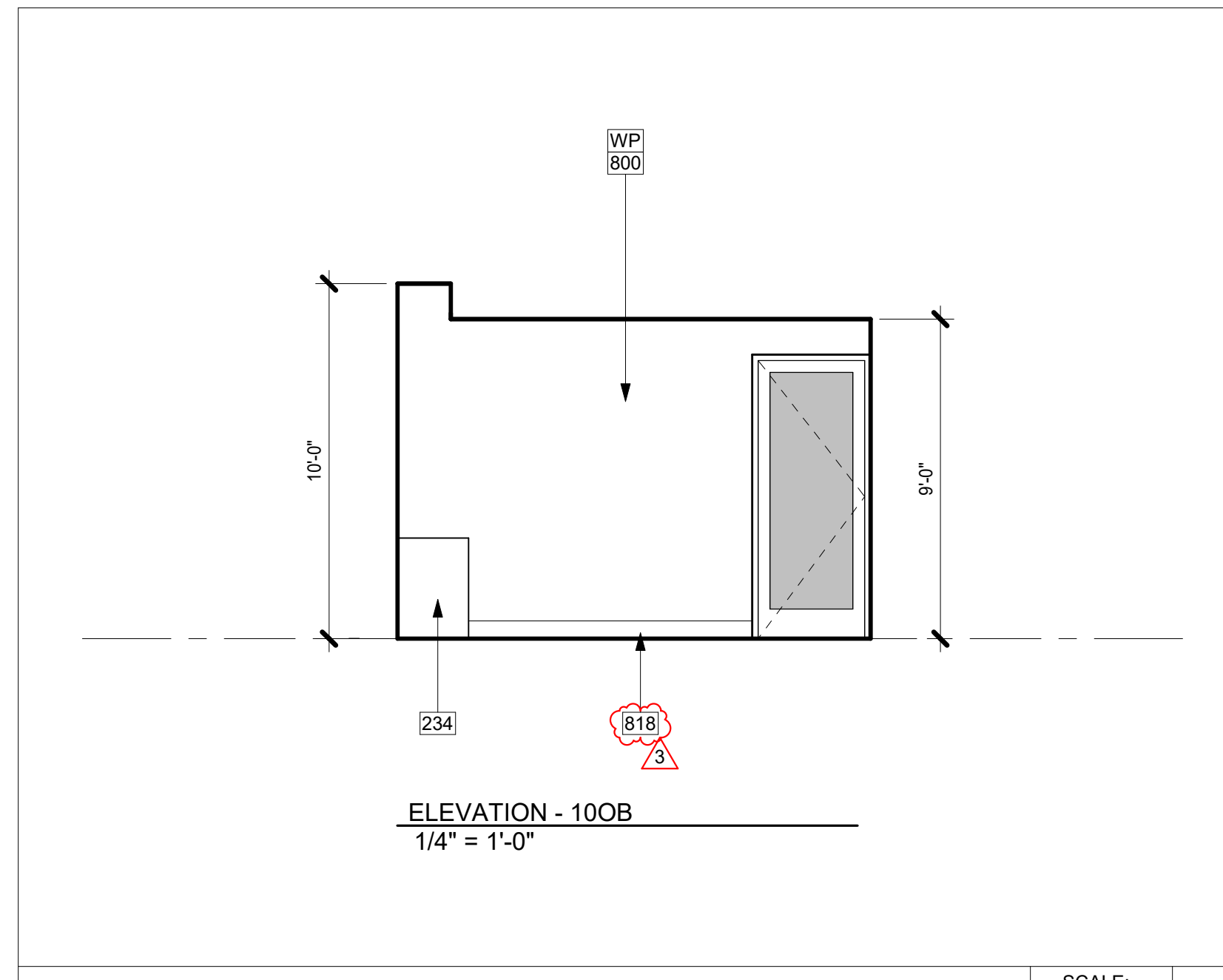
Scale: 1/4" = 1'-0"

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JOHN J. VUKSIC, AIA C-19210	
JOHN T. GREENWOOD, C-38012	
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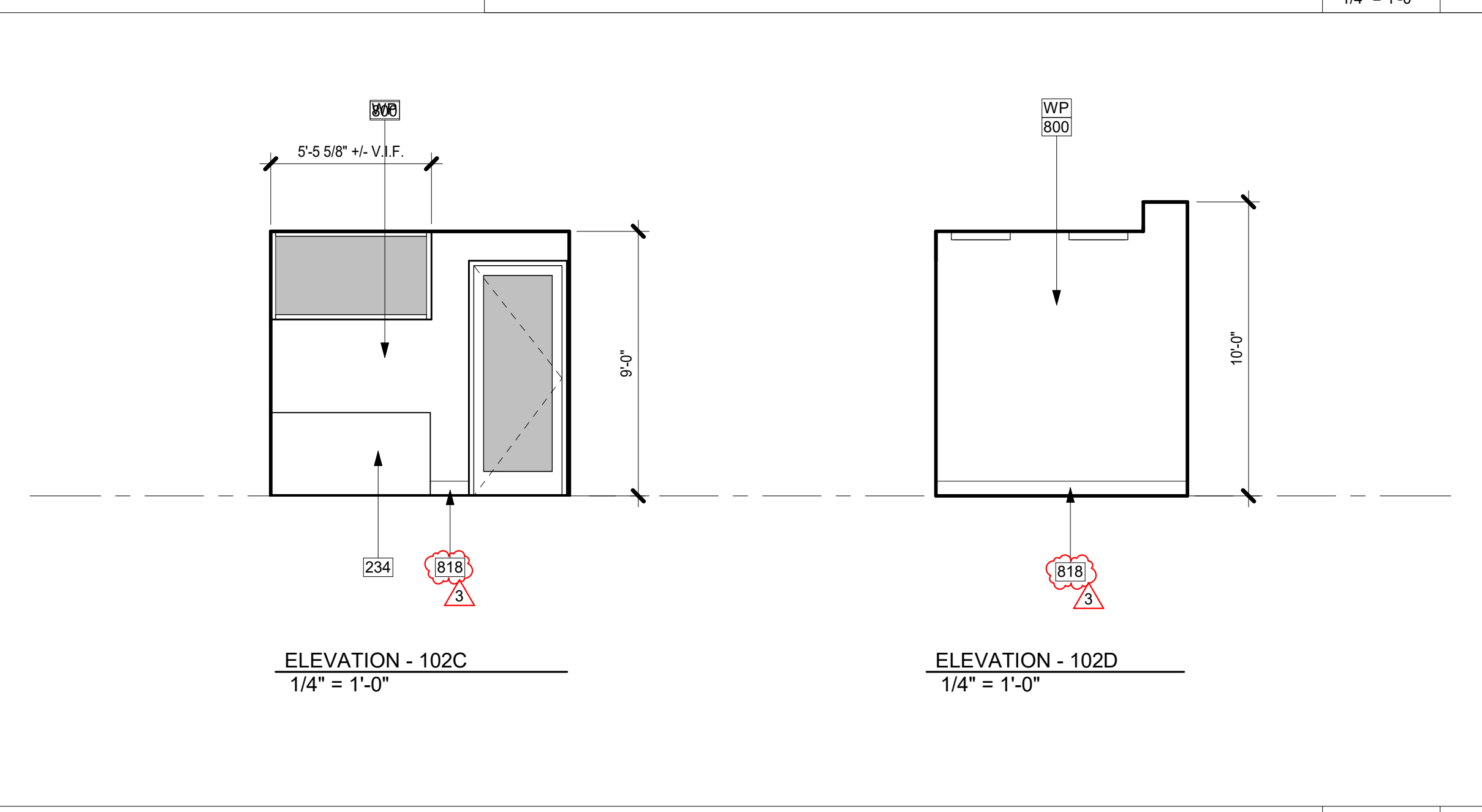
Project Status
A7.10

KEYNOTES	
NO.	DESCRIPTION
226	RECONFIGURED EXISTING CASEWORK
234	FURNITURE BY OWNER
409	(N) CASEWORK, SEE CABINET DRAWINGS
800	5/8" TYPE "X" GYP. BD., LEVEL 5 SMOOTH FINISH, PAINTED PER FINISH SCHEDULE. (PROVIDE MOISTURE RESISTANT GYP. BD. AT WET AREAS)
818	WALL BASE, TO MATCH EXISTING
WP	PAINT COLOR TO MATCH EXISTING

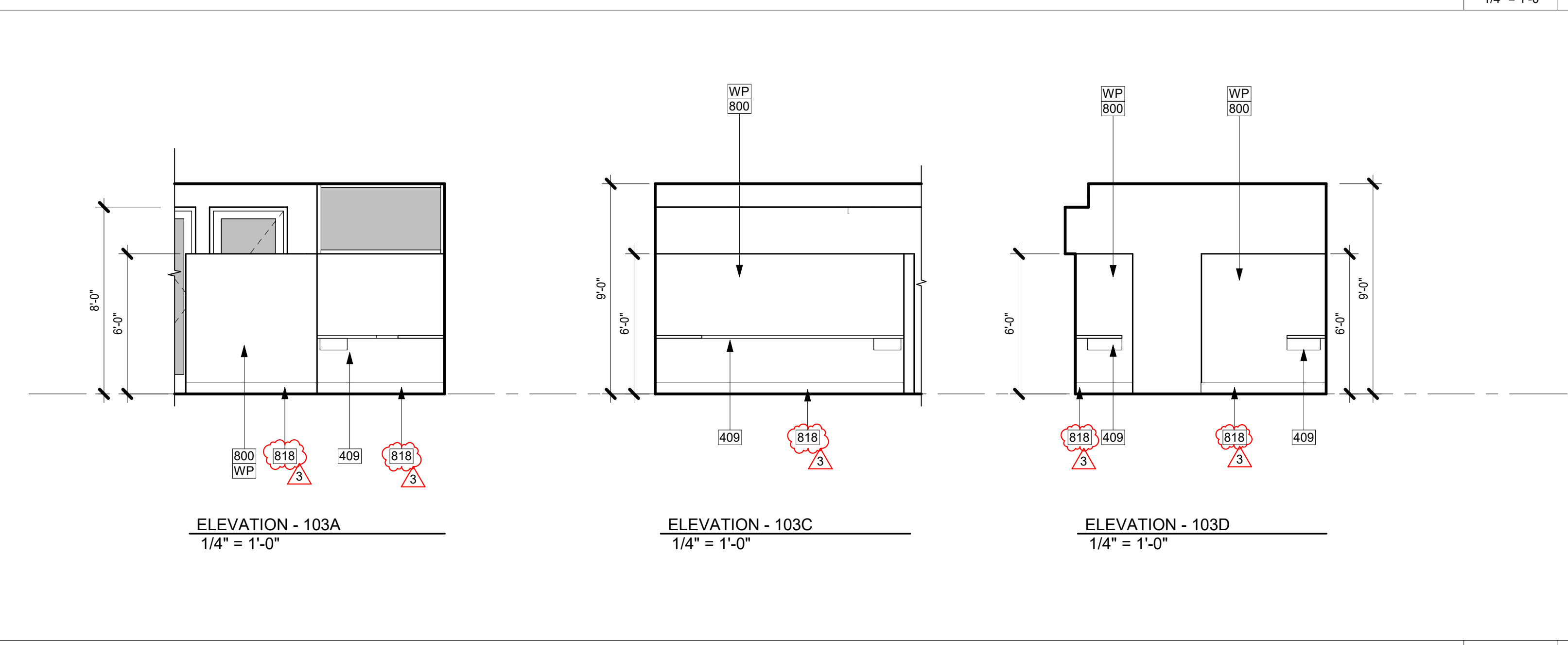


OFFICE 100 - ELEVATIONS SCALE: 1/4" = 1'-0" 2

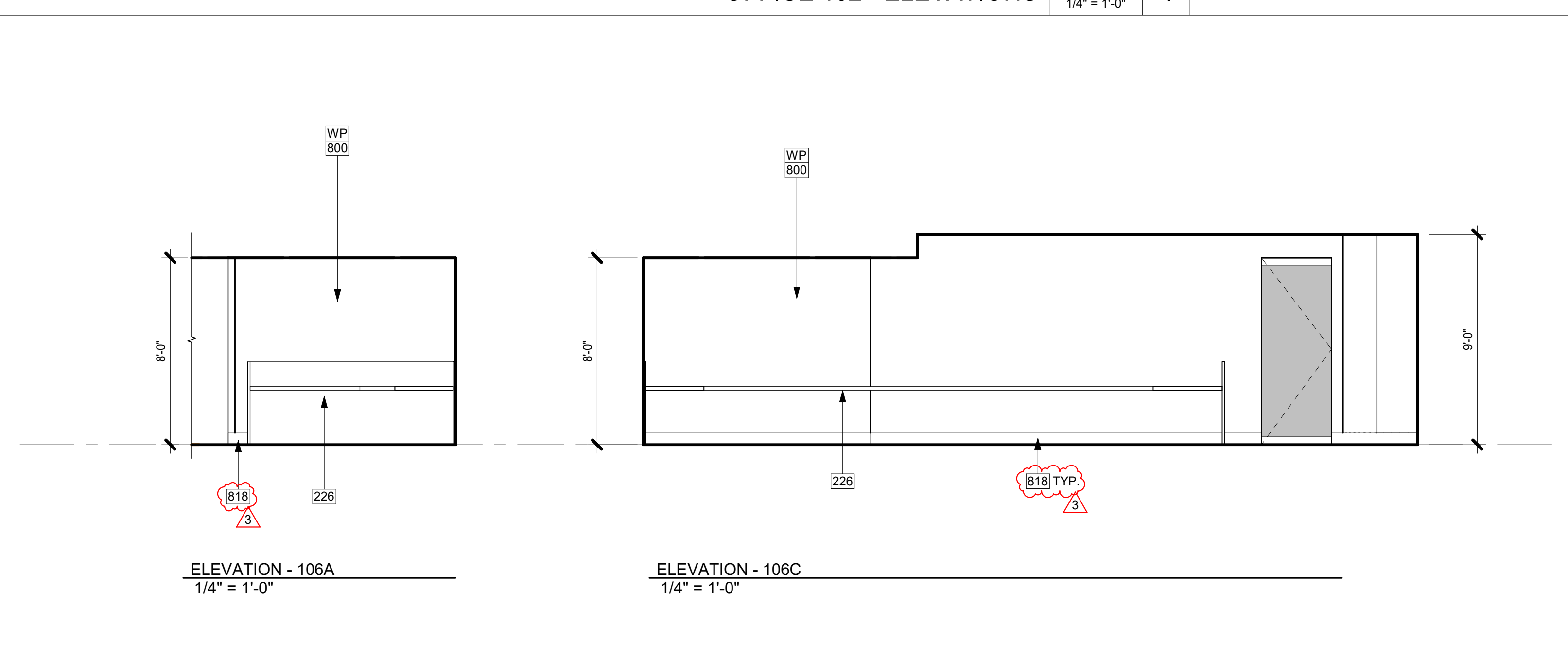
OFFICE 101 - ELEVATIONS SCALE: 1/4" = 1'-0" 5



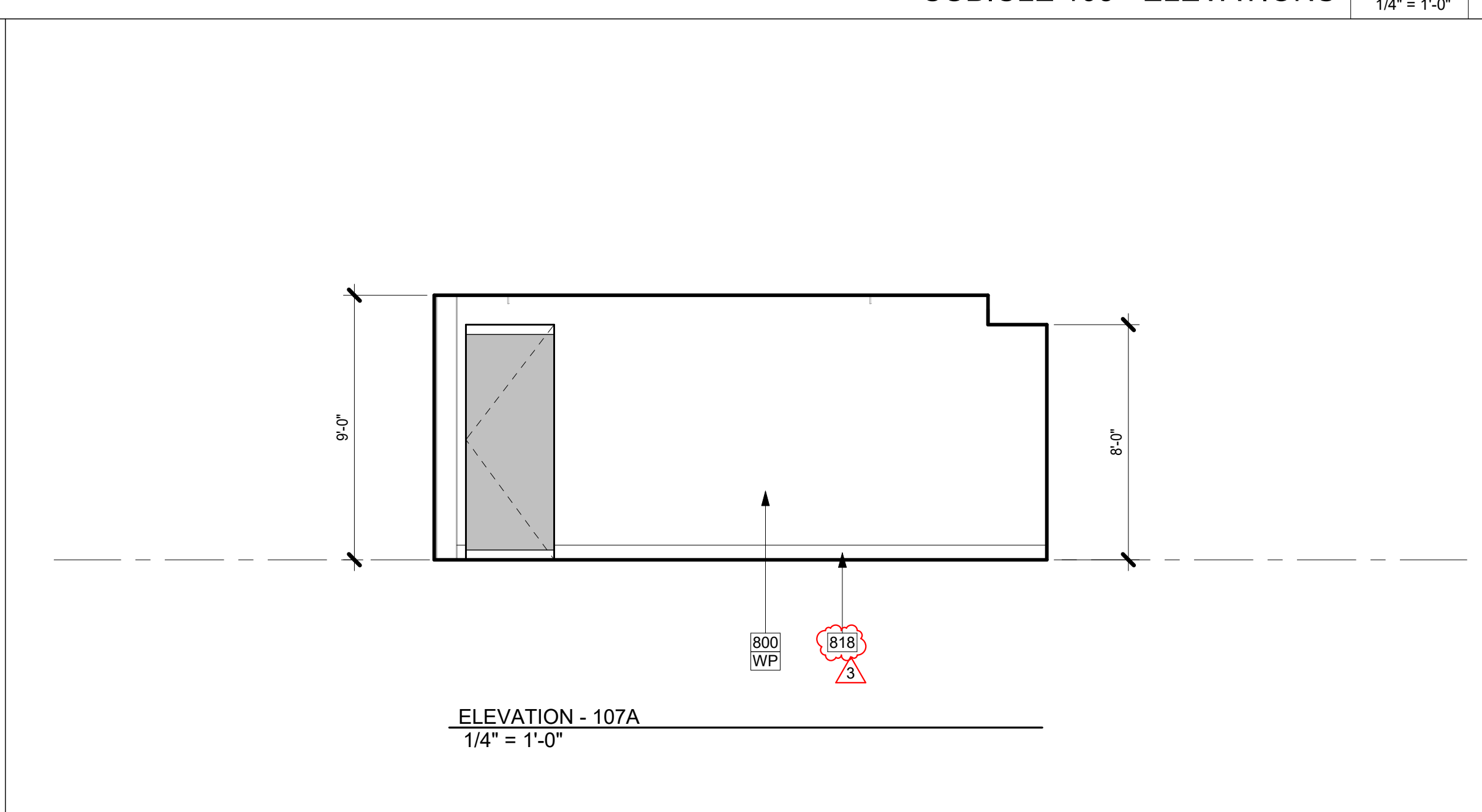
OFFICE 102 - ELEVATIONS SCALE: 1/4" = 1'-0" 4



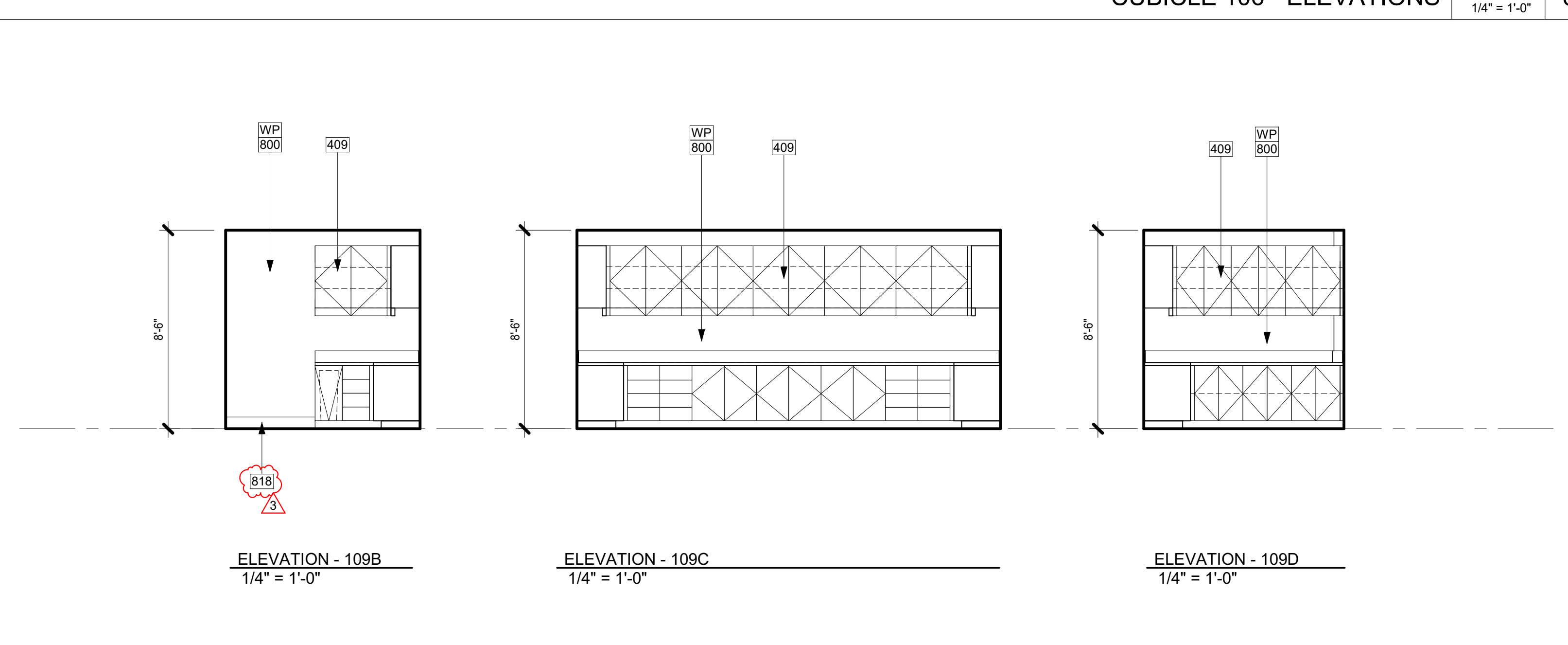
CUBICLE 103 - ELEVATIONS SCALE: 1/4" = 1'-0" 7



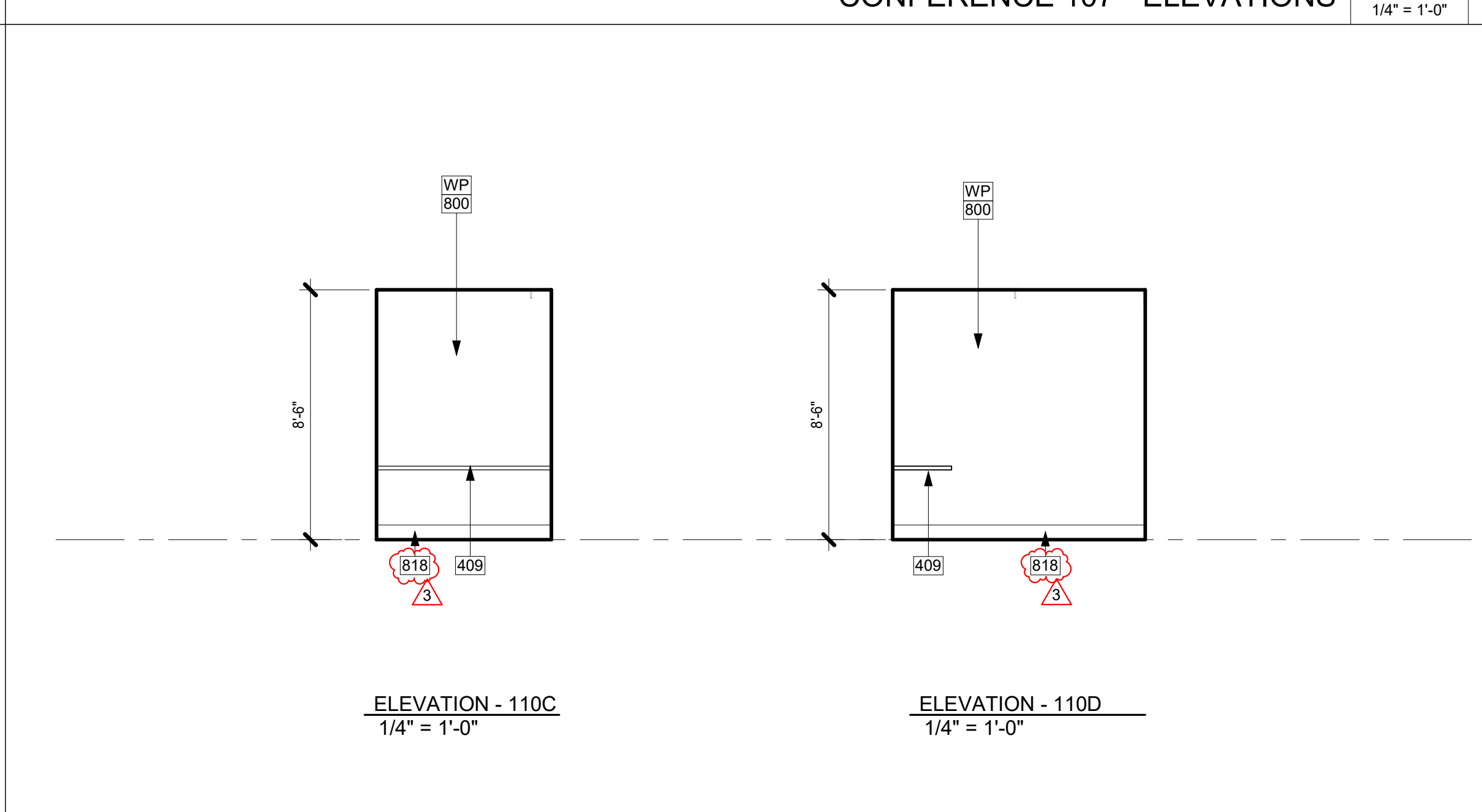
CUBICLE 106 - ELEVATIONS SCALE: 1/4" = 1'-0" 6



CONFERENCE 107 - ELEVATIONS SCALE: 1/4" = 1'-0" 3



COPY 109 - ELEVATIONS SCALE: 1/4" = 1'-0" 10



PHONE 110 - ELEVATIONS SCALE: 1/4" = 1'-0" 9

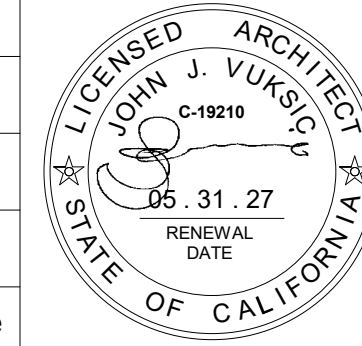
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No.	Description	Date
3	ADDENDUM A	5.18.26

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 FOR
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INTERIOR ELEVATIONS
 Scale: 1/4" = 1'-0"

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Project Status
A8.11